Public Document Pack

HILLINGDON
LONDON

A

VIRTUAL Central & South Planning Committee

Date:	**THURSDAY, 7 JANUARY 2021**
Time:	**7.00 PM**
Location:	**VIRTUAL MEETING**
Watch Live	Watch a live broadcast of this meeting on the Council's YouTube channel: ***Hillingdon London***
Important Meeting Advice:	Following UK Government advice to avoid all but essential travel and to practice social distancing, the usual physical public speaking rights at Planning Committee will be suspended temporarily during the coronavirus pandemic. Instead, written representations will be considered as part of Hillingdon's established Petitions Scheme.

To Councillors on the Committee

Councillor Steve Tuckwell (Chairman)
Councillor Alan Chapman (Vice-Chairman)
Councillor Shehryar Ahmad-Wallana
Councillor Mohinder Birah
Councillor Nicola Brightman
Councillor Roy Chamdal
Councillor Farhad Choubedar
Councillor Jazz Dhillon
Councillor Janet Duncan (Opposition Lead)

Published: Monday 21 December 2020

Contact: Democratic Services
Tel: Telephone 01895 250636 - email (recommended) democratic@hillingdon.gov.uk

Lloyd White
Head of Democratic Services
London Borough of Hillingdon,
Phase II, Civic Centre, High Street, Uxbridge, UB8 1UW

Putting our residents first

Agenda

Chairman's Announcements

1 Apologies for Absence

2 Declarations of Interest in matters coming before this meeting

3 To sign and receive the minutes of the previous meeting 1 - 10

4 Matters that have been notified in advance or urgent

5 To confirm that the items of business marked Part I will be considered in Public and that the items marked Part 2 will be considered in private

PART I - Members, Public and the Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Applications with a Petition

	Address	Ward	Description & Recommendation	Page
6	Land Adjacent to 10 Kent Close & 5 Fairlight Drive, Kent Close – 75553/APP/2020/1357	Uxbridge North	Outline application for a new dwelling with means of access, layout and parking to be determined **Recommendations: Refusal**	11 – 28 155 - 158
7	1 Raynton Close, Hayes – 8096/APP/2020/3154	Charville	Part two storey, part single storey side extension **Recommendations: Approval**	29 – 32 159 - 168

8	336 Balmoral Drive, Hayes – 71770/APP/2020/3572	Charville	Conversion of dwelling to 2 x 1-bed self-contained flats with associated parking and amenity space following demolition of existing outbuilding. **Recommendations: Approval**	33 – 46 169 - 176
9	Land Adjacent to 27 Furzeham Road – 75891/APP/2020/2961	West Drayton	Two storey attached dwelling with associated parking and amenity space **Recommendations: Refusal**	47 – 60 177 - 188
10	Cedar House Vine Lane – 12019/APP/2020/3615	Uxbridge North	Change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel) **Recommendations: Refusal**	61 – 76 189 - 193

Applications without a Petition

	Address	**Ward**	**Description & Recommendation**	**Page**
11	Cedar House Vine Lane – 12019/APP/2020/3616	Uxbridge North	Change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel) (Listed Building Consent) **Recommendations: Refusal**	77 – 84 194 - 198
12	S106 Quarterly Monitoring Report			85 - 114

PART II - MEMBERS ONLY

That the reports in Part 2 of this agenda be declared not for publication because they involve the disclosure of information in accordance with Section 100(A) and Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that they contain exempt information and that the public interest in withholding the information outweighs the public interest in disclosing it.

13 Enforcement Report 115 - 124

14 Enforcement Report 125 - 132

15 Enforcement Report 133 - 142

16 Enforcement Report 143 - 154

PART I - Plans for Central and South Planning Committee 155 - 198

Minutes

HILLINGDON
LONDON

CENTRAL & South Planning Committee

3 December 2020

Meeting held at VIRTUAL - Live on the Council's YouTube channel: Hillingdon London

	Committee Members Present: Councillors Steve Tuckwell (Chairman), Shehryar Ahmad-Wallana, Mohinder Birah, Nicola Brightman, Roy Chamdal, Farhad Choubedar, Jazz Dhillon, Janet Duncan (Opposition Lead) and Becky Haggar **LBH Officers Present**: Meghji Hirani (Planning Contracts & Planning Information), Kerrie Munro (Legal Advisor), Liz Penny (Democratic Services Officer) and James Rodger (Head of Planning, Transportation and Regeneration)
124.	**APOLOGIES FOR ABSENCE** *(Agenda Item 1)* Apologies for absence were received from Councillor Alan Chapman with Councillor Becky Haggar substituting.
125.	**DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING** *(Agenda Item 2)* Councillor Janet Duncan declared a non-pecuniary interest in item 8 as she lived in the road. She did not participate in the discussion or vote on this item.
126.	**TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETING** *(Agenda Item 3)* **RESOLVED: That the minutes of the meeting dated 5 November 2020 be approved as an accurate record.**
127.	**MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT** *(Agenda Item 4)* None.
128.	**TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART I WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE** *(Agenda Item 5)* It was confirmed that items 1-13 were in Part I and would be considered in public and items 14-19 were in Part II and would be considered in private.
129.	**LAND BEHIND 1 AND 3 LULWORTH WAYE, LULWORTH WAYE, HAYES - 75713/APP/2020/2128** *(Agenda Item 6)*

Two x 2-bed semi-detached dwellings with associated parking and amenity space involving demolition of existing garage.

Officers introduced the application advising the Committee that the proposal was not deemed to be acceptable as it would not be in keeping with the character of the area and would impact negatively on neighbouring properties – particularly nos. 1 and 3 Lulworth Waye. It was noted that there would be insufficient separation between the proposed dwellings and neighbouring properties which would result in overlooking and a loss of privacy.

A petition in support of the application had been received and the agent had submitted written representations which were read out for the consideration of the Committee. Key points raised included:

- The proposed site currently consisted of wasteland therefore the new development would make good use of an unsightly area;
- A petition in support of the application had been received from neighbours;
- The wasteland area was currently being used for criminal / antisocial activities and was frequented by drug users;
- If the application were approved, the applicant would improve the condition of the road, provide adequate lighting and consider installing a security gate to provide a safe and secure environment;
- The proposed development would comply with the London Plan 3.5 Table 3.3 and would meet space standards for new residential developments;
- A new house – 2a Lulworth Waye – had recently been constructed opposite 1/3 Lulworth in the rear garden of 37/39 Wimborne Avenue. The proposal was in keeping with said development;
- The proposal did not constitute back-land development or garden-grabbing as the land had not been used as a garden for many years;
- The garden size retained for the existing properties would meet the specification set out in the London Plan and Hillingdon's Local Plan;
- The development would provide much needed housing in the area;
- The existing land was not a positive reflection of local character and was an eyesore at present;
- The disused land had been subjected to anti-social crimes including theft, fly-tipping and drug-related activities – reports had been logged with the Police and the Council on these matters;
- The Council had expressed no concerns in relation to accessibility, parking, highways, refuse and trees.

Members noted that, although parts of the proposal were in line with policy, back-land development of this type was not deemed to be acceptable. Concerns were raised regarding the distance between houses and the detrimental effect the development would have on neighbouring properties. The Committee suggested that the site should be subject to an untidy site notice. Officers agreed to explore this further.

Members suggested that an additional reason for refusal be added in respect of the access road which could potentially be dangerous for drivers and pedestrians. The Committee was informed that, although narrow, the access road was deemed to be adequate as it would serve a very small number of properties. Highways officers considered it to be acceptable and felt it did not constitute a reason for refusal. Members were advised that the length of the access road was particularly relevant – in

	this case it did not exceed 45m so the fire services would be able to gain access. Members raised no further concerns and were in agreement with the officer's recommendation. The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed. **RESOLVED That:** **1) the application be refused; and** **2) officers explore the possibility of making the site subject to an untidy site notice.**
130.	**3 NEWLYN CLOSE, HILLINGDON - 42457/APP/2020/390** *(Agenda Item 7)* **Change of use from single dwelling (Use Class C3) to House in Multiple Occupancy (Use Class C4) with associated parking, involving demolition of existing garage.** Officers introduced the application and highlighted the information in the addendum. Members were reminded that the application had been deferred on 1 July 2020 to obtain further information regarding parking arrangements, vehicular access and the existence of a second HMO in Newlyn Close. Speaking rights had been exercised via written representations at that time. It was noted that a non-determination appeal had been received hence Members would be voting to indicate whether they would choose to approve / refuse the application, had an appeal not been received. Members were informed that the dwelling could accommodate 3 parking spaces which would comply with Council standards. It was confirmed that manoeuvrability was also adequate. The proposal was to demolish the existing garage to create additional parking space. With regards to the existence of another HMO in the area, Council tax records suggested that there was a student house in the near vicinity of the application site; presumably at no.9 Newlyn Close. If this were the case, it would result in 15.38% of HMO provision within Newlyn Close which would marginally exceed the 15% limit set out within Policy DMH5 of the Hillingdon Local Plan: Part Two. The application was recommended for approval as it complied with policy in respect of parking, access, amenity and living conditions. The impact on the amenity of neighbours was a matter for further debate. Councillors expressed concern that, although the proposed HMO would be for 6 people initially, numbers could increase in the future. It was noted that the Close was a quiet and small cul-de-sac which comprised of only 13 houses; many residents were elderly. Members felt that an additional HMO in the Close would have a detrimental impact on neighbouring residents in terms of noise and disturbance and were minded to overturn the officer's recommendation and refuse the application. Reasons for refusal would be 1) harm to the amenity of neighbours in terms of noise and disturbance which would be exacerbated by a concentration of HMOs in the cul-de-sac and 2) site restraints in such a small road. The Committee agreed to delegate authority to the Head of Planning to word the reasons for refusal. Members moved a motion to overturn the officer's recommendation and refuse the

application. This was seconded and, when put to a vote, unanimously agreed.

RESOLVED That:

1) **That had a non-determination appeal not been received the application would have been refused; and**
2) **Delegated authority be granted to the Head of Planning to word the reasons for refusal which will be defended at appeal.**

131. **10 FRAYS AVENUE, WEST DRAYTON - 5235/APP/2020/2411** *(Agenda Item 8)*

Single storey front extension, single storey side/rear extension and conversion of roof space to include 2 side dormers and conversion and extension of rear of roof from hip to gable end.

Councillor Janet Duncan had expressed a non-pecuniary interest in this item therefore did not participate in the debate or the vote. Officers introduced the application noting that the application site was within an Area of Special Local Character (ASLC). It was felt that the proposed development would not be in keeping with the existing property or with adjoining properties and would be excessively large. The impact on adjacent occupiers was deemed to be unacceptable.

Written representations had been received from the lead petitioner and were read out to the Committee. Key points raised included:

- The proposed side/rear extension would be detrimental to the amenity of the adjoining occupier at no.8 in terms of loss of light, outlook and overdominance;
- The proposed side addition would result in development spanning almost the entire depth of the property. Any roof / guttering maintenance would necessitate accessing the neighbouring property at no.8;
- The current side extension was a 4.5 inch single brick lean to with a plastic roof; not an established structure;
- The overall development would not be subordinate to the original dwelling, engulfing the original built form, resulting in an adverse impact on the character, appearance and quality of the street scene;
- There was only space for one car to the front, not two as suggested in the planning officer's report;
- The rear development would reduce the size of the rear garden which would be inappropriate for a 5-bed house.

Written representations had also been received from the agent and were read out to the Committee. Key points raised included:

- The street scene surrounding the application site was predominantly residential with a mix of properties of various sizes and designs;
- There were large double storey properties opposite the application site therefore the impact of the proposed development would be negligible;
- The extension was located outside flood zones;
- The Environment Agency had raised no objections to the application and the development site was outside the 8m buffer zone to the river;
- Although part of the proposed design did not fully comply with Council guidelines, each application should be considered on its merits. The proposal complied with guidelines in terms of its height which would not exceed the height

of the existing property;

- A recent application at no. 45 Frays Avenue had been approved – in this case a bungalow had been demolished to allow for a double storey extension. The proposed scheme at no.10 was more environmentally friendly and a less disruptive option than demolishing and rebuilding.

Written representations had been received from Ward Councillor Jan Sweeting and were read out to the Committee. Key points raised included:

- The proposed development would not be in keeping with the ASLC due to its size, bulk and dominating appearance. It would have a devastating impact on the character and appearance of the ASLC;
- The proposal would be out of character with the low rise development characteristic of the Garden City;
- The development would have a negative impact on neighbours; particularly no.8;
- It would set an unacceptable precedent and result in further erosion of the ASLC;
- It would fail to remain subordinate to the original building;
- There would be a loss of light and outlook to no.8 Frays Avenue;
- The amenity space would be insufficient for a 5-bedroom property;
- The roof alterations and extensions would not harmonise with the original building;
- The front amenity space was too small to accommodate 2 cars.

Councillor Stuart Mathers has also submitted written representations echoing the comments made by Councillor Jan Sweeting. These were read out to the Committee.

In response to requests for clarification from the Committee, it was confirmed that it would not be feasible to add another reason for refusal in relation to parking since two cars could be accommodated.

Members had no further queries and felt the proposal was wholly unacceptable.

The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed.

RESOLVED That: the application be refused.

132. **27 FURZEHAM ROAD, WEST DRAYTON - 71589/APP/2020/2931** *(Agenda Item 9)*

Two storey side extension, part two storey, part single storey rear extension.

Officers introduced the application noting their concerns regarding the proposed design and its impact on neighbouring properties. It was felt that the proposed development would be overbearing and would result in the loss of the original character of the property. The application was recommended for refusal.

A petition in objection to the application had been received. The lead petitioner's written representations were read out for the consideration of the Committee. Key points highlighted included:

- There was no parking space to the front of the proposed development site and

no option to create additional spaces there. The residents did not want the lamppost to be removed;

- The proposed development would not be in keeping with the rest of the street;
- Residents in Ruffles Close would have less sunlight in their gardens and their properties would be overlooked;
- The development would exacerbate sewage and water pressure problems;
- There was the potential for the development to be converted to an HMO at a later stage which would put further pressure on parking. HMOs already existed in the street and, in the past, tenants had been disrespectful and noisy.

Written representations had also been received from Councillor Jan Sweeting, Ward Councillor. These were read out for the consideration of Committee Members. Key points highlighted included:

- The proposal would be a significant overdevelopment of the site and would have an adverse impact on the character and appearance of the street scene;
- The development would not be subordinate to the main dwelling;
- The appearance of the original Victorian dwelling would be lost forever;
- The roof design would be intrusive and overpowering;
- The development would have an adverse impact on neighbouring properties in Furzeham Road and Ruffles Close;
- The development would create a property of excessive size and bulk out of character with the neighbouring attractive houses.

Members noted that there were very clear reasons for refusal in this case; namely the impact on neighbours, non-compliance with policy and a proposed development which would not be in keeping with the local area. Moreover, off street parking could not be provided which would add to parking stress along the road.

Members concurred with the officer's recommendation which was moved, seconded and, when put to a vote, unanimously agreed.

RESOLVED That: the application be refused.

133. **NAVNAT CENTRE, PRINTING HOUSE LANE, HAYES - 4210/APP/2020/2379**
(Agenda Item 10)

Proposed extension to rear to create new dining hall and garden terrace and single storey side extension for ancillary use as a library, IT area and storage.

Officers presented the application which was considered appropriate development within the Green Belt. It was felt that the impact of the development would be limited and the application was recommended for approval. It was noted that there was significant planning history at the site and part of what was being presented had already been approved under previous planning applications.

Members expressed concern that the site was becoming excessively large within a Green Belt area. In response to questions from the Committee, it was confirmed that the development would be used as a community centre rather than for commercial purposes. At the request of Members, it was agreed that an informative be included stating that no further extensions would be supported on this Green Belt site. At the request of the Committee, it was further agreed that Condition 7 be strengthened to restrict the use of the development so it could not be used for commercial purposes in

	the future. Members were in support of the proposal, subject to the discussed amendments. The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed, subject to the agreed amendments. **RESOLVED That:** **1) The application be approved; and** **2) Delegated authority be granted to the Head of Planning, in consultation with the Chairman and the Labour Lead, to strengthen Condition 7 in respect of 'use' and to draft an informative indicating that any further planning applications would not be supported on this Green Belt site.**
134.	**HILLINGDON GARDEN CENTRE, PIELD HEATH ROAD - 13831/APP/2020/2469** *(Agenda Item 11)* **Variation of Condition 1 of planning permission Reference: 13831/APP/2017/1217 dated 18/09/2018 (Temporary change of use from garden centre to parking for Hillingdon Hospital staff) to allow an additional period of two years.** Officers introduced the application explaining that an extension was requested as the time limit had expired. Members were in support of the application noting that parking for hospital staff was much needed. Councillors enquired whether it would be possible to extend the parking arrangements for a period of five years, rather than two, nothing that staff parking would be required while the hospital was being redeveloped. It was agreed that delegated authority be granted to the Head of Planning to explore this option further and take all the necessary procedural steps. It was anticipated that there would be no objections to this five-year proposal. Members expressed support for the proposal, preferably for an extended five-year period. The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed. **RESOLVED That:** **1) The application be approved; and** **2) Delegated authority be granted to the Head of Planning to explore the possibility of extending the permission to 5 years rather than 2 years.**
135.	**HAYES PARK, HAYES END ROAD, HAYES - 12853/APP/2020/2981** *(Agenda Item 12)* **Erection and installation of external cycle storage, trim trail and outdoor seating.** Officers presented the application which was recommended for approval. Members were in support of this application, noting that fitness was vitally important. No objections were raised. The officer's recommendation was moved, seconded and, when put to a vote,

	unanimously agreed. **RESOLVED That: the application be approved.**
136.	**WESTCOMBE HOUSE, 36-38 WINDSOR STREET, UXBRIDGE - 13544/APP/2020/1701** *(Agenda Item 13)* **Retention of show flat for Westcombe House as a self-contained residential unit (C3 use).** Officers presented the application which sought planning permission for the retention of a show flat for Westcombe House as a self-contained residential unit (C3 use). The proposed flat would be located in a locally listed building. The area was originally intended to be a lobby serving the residential development; however, it could not provide a level threshold to the flats due to the step outside the main external door. The proposed flat would provide a satisfactory living environment and would be acceptable in conservation terms and subject to a S106 agreement being completed restricting the future occupants from obtaining a parking permit. The application was recommended for approval. Committee Members sought reassurance that the small outside area on the corner of the development could be treated appropriately to protect the amenity of future tenants in terms of sound proofing and to prevent antisocial behaviour. Members were advised that this area could not be closed off entirely as this would impact on the external appearance of this listed building. At the request of Members, it was agreed that authority be granted to the Head of Planning to explore the possible options to protect future tenants. The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed. **RESOLVED That:** **1) The application be approved; and** **2) Delegated authority be granted to the Head of Planning to explore options in terms of the open external area to protect future tenants.**
137.	**ENFORCEMENT REPORT** *(Agenda Item 14)* **RESOLVED:** **1. That the enforcement action, as recommended in the officer's report, was agreed (to be enacted within a 6 week period); and,** **2. That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.** This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and **paragraphs 1, 2 & 7** of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains **information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime**

	and that the public interest in withholding the information outweighs the public interest in disclosing it.
138.	**ENFORCEMENT REPORT** *(Agenda Item 15)* **RESOLVED:** 1. **That the enforcement action, as recommended in the officer's report, was agreed; and,** 2. **That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.** This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and **paragraphs 1, 2 & 7** of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains **information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime** and that the public interest in withholding the information outweighs the public interest in disclosing it.
139.	**ENFORCEMENT REPORT** *(Agenda Item 16)* **RESOLVED:** 1. **That the enforcement action, as recommended in the officer's report, was agreed; and,** 2. **That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.** This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and **paragraphs 1, 2 & 7** of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains **information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime** and that the public interest in withholding the information outweighs the public interest in disclosing it.
140.	**ENFORCEMENT REPORT** *(Agenda Item 17)*
141.	**ENFORCEMENT REPORT** *(Agenda Item 18)* **RESOLVED:** 1. **That the enforcement action, as recommended in the officer's report, was agreed; and,**

	2. **That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.** This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and **paragraphs 1, 2 & 7** of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains **information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime** and that the public interest in withholding the information outweighs the public interest in disclosing it.
142.	**ENFORCEMENT REPORT** *(Agenda Item 19)* **RESOLVED:** 1. **That the enforcement action, as recommended in the officer's report, was agreed; and,** 2. **That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.** This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and **paragraphs 1, 2 & 7** of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains **information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime** and that the public interest in withholding the information outweighs the public interest in disclosing it.
	The meeting, which commenced at 7.00 pm, closed at 9.33 pm.

These are the minutes of the above meeting. For more information on any of the resolutions please contact Liz Penny on Telephone 01895 250636 - email: epenny@hillingdon.gov.uk. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

The public part of this meeting was filmed live on the Council's YouTube Channel to increase transparency in decision-making; however, these minutes remain the official and definitive record of proceedings.

Report of the Head of Planning, Transportation and Regeneration

Address LAND ADJACENT TO 10 KENT CLOSE & 5 FAIRLIGHT DRIVE KENT CLOSE UXBRIDGE

Development: Outline application for a new dwelling with means of access, layout and parking to be determined

LBH Ref Nos: 75553/APP/2020/1357

Drawing Nos: 3028.KENT.101
Planning Statement
Arboricultural and Planning Integration Repor

Date Plans Received: 28/04/2020 **Date(s) of Amendment(s):**

Date Application Valid: 18/05/2020

1. SUMMARY

The application site seeks outline planning permission for the development of the site to construct a new dwelling. All matters are reserved except for access and layout. This means that, if approved, further details will need to be approved before the proposal can be implemented. In this case this would be:

- appearance (how it looks including the exterior of the development)
- landscaping (the improvement or protection of the amenities of the site, as well as the way it links to roads and pathways outside the site)
- scale (the size of the development, including the height, width and length of the proposed building)

A single parking space is proposed on the site frontage, however it is understood that this space is currently allocated to No.5 Fairlight Drive which would therefore become devoid of any parking facility. Clearly this parking 'trade off' is not acceptable and the space cannot be included within the parking calculation resulting in a 'zero' parking provision for the proposal which falls well below the required standard. It is considered that in this case the lack of parking provision (in a location with a low PTAL of 2) would create parking stress and is therefore unacceptable.

This is backland development and it is considered that the layout of the development will be harmful to the character of the area. It is also considered that it has not been demonstrated that harm to residential amenities by loss of privacy will not arise.

The applicant has lodged an appeal on grounds of failure to determine. As such the recommendation is based on reasons that would have formed the basis of a refusal.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposed development, by reason of its layout, size and siting represents an overdevelopment of the site and fails to harmonise with the prevailing pattern, local context and spaciousness of development in the immediate locality. The proposal would therefore

be detrimental to the visual amenity and character of the surrounding area contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMH 6 and DMHB 11 of the adopted Hillingdon Local Plan: Part Two - Development Management Policies (January 2020), Policies 3.5, 7.1 and 7.4 of the London Plan (2016) and the NPPF.

2 NON2 **Non Standard reason for refusal**

It has not been demonstrated that the development by reason of its location, layout and proximity would not be detrimental to the amenities of the adjoining occupier at 6 Fairlight Drive and 11 Kent Close, by reason of visual intrusion, loss of privacy and overlooking. Therefore the proposal would be contrary to Policies DMH 6 and DMHB 11 of the adopted Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

3 NON2 **Non Standard reason for refusal**

The proposal would exacerbate existing local parking stress due to the insufficient parking provision proposed, to the detriment of public and highway safety and contrary to policies DMT 2 and DMT 6 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and to Hillingdon's Adopted Parking Standards as set out in Appendix C of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHB 16	Housing Standards
DMHB 18	Private Outdoor Amenity Space
DMEI 14	Air Quality
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments
LPP 3.8	(2016) Housing Choice
LPP 7.1	(2016) Lifetime Neighbourhoods
LPP 7.4	(2016) Local character
NPPF- 2	NPPF-2 2018 - Achieving sustainable development

NPPF- 5	NPPF-5 2018 - Delivering a sufficient supply of homes
NPPF- 11	NPPF-11 2018 - Making effective use of land
NPPF- 12	NPPF-12 2018 - Achieving well-designed places

3 I59 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

4 I71 **LBH worked applicant in a positive & proactive (Refusing)**

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. The Council has made available detailed advice in the form of our statutory policies from the Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

The Council has, however, been unable to seek solutions to problems arising from the application as the principal of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

5 I74 **Community Infrastructure Levy (CIL) (Refusing Consent)**

This is a reminder that Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), should an application for appeal be allowed, the proposed development would be deemed as 'chargeable development' and therefore liable to pay the London Borough of Hillingdon Community Infrastructure Levy (CIL) and the Mayor of London's Community Infrastructure Levy (CIL). This would be calculated in accordance with the London Borough of Hillingdon CIL Charging Schedule 2014 and the Mayor of London's CIL Charging Schedule 2012. For more information on CIL matters please visit the planning portal page at: www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil

3. CONSIDERATIONS

3.1 Site and Locality

The site is located on land adjacent to No. 10 Kent Close and 5 Fairlight Drive with its main access point from Fairlight Drive, approximately 50m west of its junction with Harefield Road, Uxbridge. The site currently comprises a parcel of infill land that is not owned by any adjacent neighbour and has been used privately for ad hoc use as open air storage. The surrounding area is characterised by mainly 2 storey housing of a similar style which were completed in the 1980/90s as part of 2 separate residential estate developments. Many of the buildings are finished with a red matching brick or have a render finish.

3.2 Proposed Scheme

Outline application for approval of access and layout for a new dwelling with associated parking. All matters are therefore reserved except for access and layout. Access to the site is via a narrow (pedestrian) alleyway located to the north and adjacent to 5 Fairlight Close. A single parking space is provided. The layout shows a single dwelling on the southern part of the plot between Nos. 10 and 11 Kent Close. There is no vehicular access to this street.

3.3 Relevant Planning History

Comment on Relevant Planning History

The application site has no relevant planning history

4. Planning Policies and Standards

London Borough of Hillingdon Development Plan (from 17 January 2020)

1.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

1.2 The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)

The Local Plan: Part 2 - Development Management Policies (2020)

The Local Plan: Part 2 - Site Allocations and Designations (2020)

West London Waste Plan (2015)

The London Plan - Consolidated With Alterations (2016)

1.3 The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

1.4 Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

(a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);

(b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and

(c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

1.5 The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October.

1.6 The Mayor has considered the Inspectors' recommendations and, on the 19th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for any of the Inspectors' recommendations that the Mayor does not wish to accept.

1.7 Limited weight should be attached to draft London Plan policies that have not been accepted by the Mayor or that have only been accepted in part/with significant amendments. Greater weight may be attached to policies that were subject to the Inspector's recommendations and have since been accepted by the Mayor through the 'Intend to Publish' version of the Plan. The weight will then increase as unresolved issues are overcome through the completion of the outstanding statutory process. Greater weight may also be attached to policies, which have been found acceptable by the Panel (either expressly or by no comment being made).

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1	(2012) Built Environment
PT1.H1	(2012) Housing Growth

Part 2 Policies:

DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHB 16	Housing Standards
DMHB 18	Private Outdoor Amenity Space
DMEI 14	Air Quality
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments
LPP 3.8	(2016) Housing Choice
LPP 7.1	(2016) Lifetime Neighbourhoods
LPP 7.4	(2016) Local character
NPPF- 2	NPPF-2 2018 - Achieving sustainable development
NPPF- 5	NPPF-5 2018 - Delivering a sufficient supply of homes
NPPF- 11	NPPF-11 2018 - Making effective use of land
NPPF- 12	NPPF-12 2018 - Achieving well-designed places

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Neighbours were notified on 24/05/2020. Following public consultation 43 objections and a petition were received raising the following concerns:

- Further congestion
- Impacts on wildlife
- Development not in keeping with the local context
- Too much building in local area
- Construction noise and disturbance
- Impact on tree
- On street parking loss
- insufficient car parking/traffic generation
- loss of access to land
- loss of privacy for adjoining residents
- overbearing impact on residents
- loss of light
- Effect on health
- Insufficient or inadequate infrastructure

Officers comments: The planning issues raised are considered below.

Internal Consultees

Highways and Traffic Officer:

The site is located in a small residential catchment within a cul-de-sac directly off Harefield Road in Uxbridge. This outline proposal (access & layout only) consists of the redevelopment of a vacant piece of private land, which lies adjacent to No.5 Fairlight Drive and No.10 Kent Close, with the placement of a new detached 'back-land' 3 bedroom residential unit. A single private parking space is proposed on the site frontage.

Fairlight Drive exhibits a mix of waiting restrictions which operate from Monday to Saturday - 8am to 6.30pm and un-adopted (private) parking spaces allocated to various properties in the road. A controlled parking zone covers Harefield Road and functions from Monday to Saturday - 9am to 5pm. The site exhibits a PTAL of 2 which is considered as low and as such heightens dependency on the use of private motor transport.

Parking Provision:
Local Plan: Part 2 Policy DMT 6 requires that new development will only be permitted where it accords with the Council's adopted parking standards unless it can be demonstrated that a deviation from the standard would not result in a deleterious impact on the surrounding road network.

It is proposed to provide a single detached build on this vacant back-land. In order to comply with the adopted parking standard the maximum on-plot requirement demands up to 2 spaces. A single private space is proposed on the site frontage however it is understood that this space is currently allocated to No.5 Fairlight Drive which would therefore become devoid of a parking facility. Clearly this parking 'trade off' is not acceptable and the space cannot be included within the parking calculation resulting in a 'zero' parking provision for the proposal which falls well below the required standard.

It is therefore considered that a refusal on insufficient parking grounds is justifiable as private car dependency generated by the proposal is likely to be high due to the low PTAL which would

potentially contribute to undue long term parking displacement onto the surrounding public highway. This likelihood is further exacerbated by the limited on-plot parking provisions available to surrounding properties which inherently increases on-street car parking pressure and demand.

Cycling Provision
In terms of cycle parking there should be a provision of 2 secure and accessible spaces for the unit in order to conform to the adopted minimum borough cycle parking standard. This quantum within a suitable cycle store is indicated toward the site frontage and is therefore considered acceptable.

Vehicular Trip Generation
Local Plan: Part 2 Policies DMT 1 and DMT 2 require the Council to consider whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety.

The scale of proposal does not warrant concern based on potential traffic activity which is considered insignificant in generation terms and therefore can be absorbed within the local road network without notable detriment to traffic congestion and road safety.

Operational Refuse Requirements
Refuse collection would be conducted from Fairlight Drive. A specific bin storage area, close to the highway boundary is acknowledged within this submission. This arrangement is acceptable in principle as it ensures that waste collection distances are not excessive and within accepted standards.

Conclusion: Refusal on insufficient on-plot parking grounds is therefore recommended.

Trees and Landscape Officer:

The site is occupied by a plot of land adjacent / to the north of 10 Kent Close. Access to the site is via a narrow (pedestrian) alleyway located to the north and adjacent to 5 Fairlight Close. TPO 423 protects 7 Myrobalan plum (G7) trees along the rear boundary of 101-105 Harefield Road, alongside the alleyway. T6 is a Cedar of Lebanon which is closer to the main site, but off-site on elevated ground to the east.

COMMENT: The group of trees (G7) in the back garden should be unaffected by the development as they are effectively protected by a high brick wall. A tree report by GHA has identified and assessed the effect of development on the cedar and concludes that it will be unaffected by the proposal and can be safely and sustainably retained. Further to a recent site inspection, there is no objection to this assessment. All of the TPO's trees are off-site and, therefore, effectively protected by the existing site boundary walls/fences (and change of levels).

RECOMMENDATION: No objection subject to conditions RES9 (parts 1, 2 and 5).

Access Officer: no objection subject to condition.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy H1 of the Local Plan: Part One - Strategic Policies (November 2012) gives general support to housing provision to meet and exceed the Council's minimum strategic dwelling requirement, where this can be achieved, in accordance with other Local Plan policies.

Policy 3.3 of the London Plan (March 2016) seeks to ensure that London's housing needs are met. This objective is reiterated in the Mayor of London's Supplementary Planning

Guidance (SPG) on Housing, although it is noted that the in achieving housing targets, full account must be given to other policy objectives.

At a national level, Chapter 5 of the National Planning Policy Framework (NPPF) (February 2019), supports the delivery of homes, confirming that local authorities should, through their Local Plans, demonstrate how housing targets and objectives will be met. Particular emphasis is given to housing delivery over the next five years, but authorities are also required to consider growth beyond this.

Policy DMH 2 of the Hillingdon Local Plan: Part Two - Development Management Policies (Jan 2020) states Council will require the provision of a mix of housing units of different sizes in schemes of residential development to reflect the Council's latest information on housing need.

Policy DMH 6 relating to backland development states that such development may be acceptable subject to:

i) neighbouring residential amenity and privacy of existing homes and gardens must be maintained and unacceptable light spillage avoided;
ii) vehicular access or car parking should not have an adverse impact on neighbours in terms of noise or light. Access roads between dwellings and unnecessarily long access roads will not normally be acceptable;
iii) development on backland sites must be more intimate in mass and scale and lower than frontage properties; and
iv) features such as trees, shrubs and wildlife habitat must be retained or re-provided.

The proposal would not involve the loss of existing gardens and thus in principle the development of the site may be considered acceptable. However, the development would need to comply with the policies and standards as set out in the Local Plan, London Plan and the NPPF, which it has failed to do.

7.02 Density of the proposed development

Policy 3.4 of the London Plan (2015) seeks to ensure that the new development takes into account local context and character, the design principles in Chapter 7 and public transport capacity development should optimise housing output for different types of location within the relative density range shown in Table 3.2. Development proposals which compromise this policy should be resisted.

The density matrix, however, is only of limited value when looking at small scale development such as that proposed with this application. In such cases, it is often more appropriate to consider how the development harmonises with its surroundings and its impact on adjoining occupiers.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy DMHB 11: Design of New Development

A) All development, including extensions, alterations and new buildings will be required to be designed to the highest standards and,incorporate principles of good design including:

i) harmonising with the local context by taking into account the surrounding:
· scale of development, considering the height, mass and bulk of adjacent structures;
· building plot sizes and widths, plot coverage and established street patterns;
· building lines and setbacks, rooflines, streetscape rhythm, for example, gaps between structures and other streetscape
elements, such as degree of enclosure;
- architectural composition and quality of detailing;
· local topography, views both from and to the site; and
· impact on neighbouring open spaces and their environment.
ii) ensuring the use of high quality building materials and finishes;
iii) ensuring that the internal design and layout of development maximises sustainability and is adaptable to different activities;
iv) protecting features of positive value within and adjacent to the site, including the safeguarding of heritage assets, designated and un-designated, and their settings; and
v) landscaping and tree planting to protect and enhance amenity, biodiversity and green infrastructure.
B) Development proposals should not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.
C) Development will be required to ensure that the design safeguards the satisfactory re-development of any adjoining sites which have development potential. In the case of proposals for major development sites, the Council will expect developers to prepare master plans and design codes and to agree these with the Council before developing detailed designs.
D) Development proposals should make sufficient provision for well designed internal and external storage space for general, recycling and organic waste, with suitable access for collection. External bins should be located and screened to avoid nuisance and adverse visual impacts to occupiers and neighbours.

Policy DMH 6 of the Local Plan : Garden and Backland Development states -

There is a presumption against the loss of gardens due to the need to maintain local character, amenity space and biodiversity. In exceptional cases a limited scale of backland development may be acceptable, subject to the following criteria:
i) neighbouring residential amenity and privacy of existing homes and gardens must be maintained and unacceptable light spillage avoided;
ii) vehicular access or car parking should not have an adverse impact on neighbours in terms of noise or light. Access roads between dwellings and unnecessarily long access roads will not normally be acceptable;
iii) development on backland sites must be more intimate in mass and scale and lower than frontage properties; and
iv) features such as trees, shrubs and wildlife habitat must be retained or re-provided.

Kent Close, Fairlight Drive and Pages Lane comprise fairly recent development of terraced and semi-detached properties set in compact plots. It derives its character from features including the relatively regular design of the houses, the open plan frontages and the irregular gaps between groups of buildings and the larger gaps which are evident on some of the corner plots including the application site, which together, give some sense of spaciousness in this area. Very few of the properties in the surrounding area have extensions or alterations, so the original form, layout and design in this area remain

apparent.

The application site is surrounded by residential curtilages, mainly adjoined by rear gardens. Notwithstanding that there are some outbuildings in these gardens, this layout contributes to the feeling of spaciousness. Whilst the site is overgrown, its undeveloped nature makes a positive contribution to the open character of the site and surroundings. The site has pedestrian access from Kent Close. The only road frontage for the site is the narrow access path.

The proposed built development and domestic use on the plot would undermine the open undeveloped character of the site. The proposed residential use and built form would undermine the important break in development and as a result would harm the spacious character of the surrounding area. The site provides an important and prominent role in providing a visual gap adding to the spacious feel and overall rhythm and character of the area. The development of a dwelling close to the side boundary and infilling the gap between Nos 10 and 11 Kent Close which provides an important visual break in this small close would unbalance and disturb the spaciousness of the area.

As such the proposed development, by reason of its layout, size and siting represents an overdevelopment of the site and fails to harmonise with the prevailing pattern, local context and spaciousness of development in the immediate locality. The proposal would therefore be detrimental to the visual amenity and character of the surrounding area contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMH 6 and DMHB 11 of the adopted Hillingdon Local Plan: Part Two - Development Management Policies (January 2020), Policies 3.5, 7.1 and 7.4 of the London Plan (2016) and the NPPF.

7.08 Impact on neighbours

Policy DMHB 11 of the Hillingdon Local Plan Part 2 - Development Management Policies (Jan 2020) sets out principles of good design which will ensure the amenities of surrounding properties are protected.

Paragraph 5.38 of the Local Plan: Part 2 - Development Management Policies (2020) explains that the Council will aim to ensure that there is sufficient privacy for residents and it will resist proposals where there is an unreasonable level of overlooking between habitable rooms of adjacent residential properties, schools or onto private open spaces. A minimum of 21 metres separation distance between windows of habitable rooms will be required to maintain levels of privacy and to prevent the possibility of overlooking. In some locations where there is a significant difference in ground levels between dwellings, a greater separation distance may be necessary.

This is an outline proposal and therefore there are no details of the design of the proposed dwelling including, for instance, the location of and orientation of windows. The layout (which is for determination) shows the proposed dwelling as being 13 metres from the rear of No. 6 Fairlight Drive and 3.37 metres from the side of and extending to the rear of No. 11 Kent Close. The land is also elevated, compared to its neighbours. Since the proposed dwelling is significantly less than 21 metres from both properties, material overlooking and loss of privacy cannot be ruled out. The development also proposes an access path adjoining and running the full length of the side garden of No. 5 Fairlight Drive resulting in potential disturbance in terms of noise and disturbance.

7.09 Living conditions for future occupiers

On 25 March 2015, the Government introduced new technical housing standards in England, which comprise of new additional 'optional' Building Regulations on water and

access, and a nationally described space standard (referred to as "the new national technical standards"). These new standards came into effect on 1 October 2015. The Mayor of London has adopted the new national technical standards through a minor alteration to The London Plan.

The Housing Standards (Minor Alterations to the London Plan) March 2016 sets out the minimum internal floor spaces required for developments in order to ensure that there is an adequate level of amenity for existing and future occupants.

Policy DMHB 16 of the adopted Local Plan: Housing Standards states -

All housing development should have an adequate provision of internal space in order to provide an appropriate living environment. To achieve this all residential development or conversions should:
i) meet or exceed the most up to date internal space standards, as set out in Table 5.1; and
ii) in the case of major developments, provide at least 10% of new housing to be accessible or easily adaptable for wheelchair users.

No details of the internal floorspace or the number of bedrooms are given. However, there does not appear to be any reason why an appropriate internal floorspace or a satisfactory standard of living accommodation could not be achieved. In the event of an approval this would be for consideration under reserved matters and/or conditions.

Policy DMHB 18 of the adopted Hillingdon Local Plan: Part Two - advises all new residential development will be required to provide good quality and usable private outdoor amenity space. The site is approximately 100 square metres, and there does not appear to be any reason why a suitable level and quality of amenity space could not be achieved. The proposal would therefore comply with the requirements of Policy DMHB 18 of the adopted Local Plan. (January 2020)

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Section 8 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) states that development proposals will be expected to include measures that do not contribute further to congestion and where possible, reduce car use. Paragraph 8.13 specifically states that the Council will not support development which will unacceptably contribute to traffic movements, deleteriously impact on the highway network or road user safety (including to pedestrians) or, affect residential amenity including by noise, congestion or inadequate parking provision. Proposals which are likely to generate through traffic should avoid the use of local distributor and access roads. Development proposals must provide safe and adequate vehicular access, servicing and parking areas.

Policy DMT 1 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) states :

A) Development proposals will be required to meet the transport needs of the development and address its transport impacts in a sustainable manner. In order for developments to be acceptable they are required to:
i) be accessible by public transport, walking and cycling either from the catchment area that it is likely to draw its employees, customers or visitors from and/or the services and facilities necessary to support the development;
ii) maximise safe, convenient and inclusive accessibility to, and from within developments

for pedestrians, cyclists and public transport users;
iii) provide equal access for all people, including inclusive access for disabled people;
iv) adequately address delivery, servicing and drop-off requirements; and
v) have no significant adverse transport or associated air quality and noise impacts on the local and wider environment, particularly on the strategic road network.

B) Development proposals will be required to undertake a satisfactory Transport Assessment and Travel Plan if they meet or exceed the appropriate thresholds.

Policy DMT 2 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) states :

Highways Impacts Development proposals must ensure that:
i) safe and efficient vehicular access to the highway network is provided to the Council's standards;
ii) they do not contribute to the deterioration of air quality, noise or local amenity or safety of all road users and residents;
iii) safe, secure and convenient access and facilities for cyclists and pedestrian are satisfactorily accommodated in the design of highway and traffic management schemes;
iv) impacts on local amenity and congestion are minimised by routing through traffic by the most direct means to the strategic road network, avoiding local distributor and access roads; and
v) there are suitable mitigation measures to address any traffic impacts in terms of capacity and functions of existing and committed roads, including along

Policy DMT 6 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) states :

A) Development proposals must comply with the parking standards outlined in Appendix C Table 1 in order to facilitate sustainable development and address issues relating to congestion and amenity. The Council may agree to vary these requirements when:
i) the variance would not lead to a deleterious impact on street parking provision, congestion or local amenity; and/or
ii) a transport appraisal and travel plan has been approved and parking provision is in accordance with its recommendations.

B) All car parks provided for new development will be required to contain conveniently located reserved spaces for wheelchair users and those with restricted mobility in accordance with the Council's Accessible Hillingdon SPD.

Local Plan Part 2 Policy DMT 6 requires that new development will only be permitted where it accords with the Council's adopted parking standards unless it can be demonstrated that a deviation from the standard would not result in a deleterious impact on the surrounding road network.

The Council's highways officer has commented on the issues of traffic and parking as follows:

Parking Provision
Local Plan: Part 2 Policy DMT 6 requires that new development will only be permitted where it accords with the Council's adopted parking standards unless it can be demonstrated that a deviation from the standard would not result in a deleterious impact on

the surrounding road network.

It is proposed to provide a single detached build on this vacant back-land. In order to comply with the adopted parking standard the maximum on-plot requirement demands up to 2 spaces. A single private space is proposed on the site frontage however it is understood that this space is currently allocated to No.5 Fairlight Drive which would therefore become devoid of a parking facility. Clearly this parking 'trade off' is not acceptable and the space cannot be included within the parking calculation resulting in a 'zero' parking provision for the proposal which falls well below the required standard.

It is therefore considered that a refusal on insufficient parking grounds is justifiable as private car dependency generated by the proposal is likely to be high due to the low PTAL which would potentially contribute to undue long term parking displacement onto the surrounding public highway. This likelihood is further exacerbated by the limited on-plot parking provisions available to surrounding properties which inherently increases on-street car parking pressure and demand.

Cycling Provision
In terms of cycle parking there should be a provision of 2 secure and accessible spaces for the unit in order to conform to the adopted minimum borough cycle parking standard. This quantum within a suitable cycle store is indicated toward the site frontage and is therefore considered acceptable.

Vehicular Trip Generation
Local Plan: Part 2 Policies DMT 1 and DMT 2 require the Council to consider whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety.

The scale of proposal does not warrant concern based on potential traffic activity which is considered insignificant in generation terms and therefore can be absorbed within the local road network without notable detriment to traffic congestion and road safety.

Operational Refuse Requirements
Refuse collection would be conducted from Fairlight Drive. A specific bin storage area, close to the highway boundary is acknowledged within this submission. This arrangement is acceptable in principle as it ensures that waste collection distances are not excessive and within accepted standards.

Conclusion: Refusal on insufficient on-plot parking grounds is therefore recommended.

Thus the proposal would exacerbate existing local parking stress due to the insufficient parking provision proposed, to the detriment of public and highway safety and contrary to policies DMT 2 and DMT 6 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and to Hillingdon's Adopted Parking Standards as set out in Appendix C of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

7.11 Urban design, access and security

URBAN DESIGN

Urban Design matters relating to the scale, form and massing of the development are addressed within the "impact to the character and appearance of the area" section of this report.

SECURITY

A condition would be attached to any approval to require the development to be built to secured by design standards and maintained as such.

7.12 Disabled access

The Access Officer has no objections subject to conditions.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

TPO 423 protects 7 Myrobalan plum (G7) trees along the rear boundary of 101-105 Harefield Road, alongside the alleyway. T6 is a Cedar of Lebanon which is closer to the main site, but off-site on elevated ground to the east. It is the cedar which a number of residents have expressed concern that it is under threat.

The group of trees (G7) in the back garden should be unaffected by the development as they are effectively protected by a high brick wall. A tree report by GHA has identified and assessed the effect of development on the cedar and concludes that it will be unaffected by the proposal and can be safely and sustainably retained. Further to a recent site inspection, there is no objection to this assessment. All the TPO's trees are off-site and, therefore, effectively protected by the existing site boundary walls/fences (and change of levels).

7.15 Sustainable waste management

Policy 5.17 of the London Plan (March 2016) sets out the Mayor's spatial policy for waste management, including the requirements for new developments to provide appropriate facilities for the storage of refuse and recycling.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Policy EM6 (Flood Risk Management) of the Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012) states that applicants must demonstrate that Flood Risk can be suitably mitigated. This is further supported by policies DMEI 9 and DMEI 10 of the Hillingdon Local Plan: Part 2 - Development Management Policies (Jan 2020) and Policies 5.13 and 5.15 of the London Plan (March 2016). No issues arise.

7.18 Noise or Air Quality Issues

AIR QUALITY

The application site does not fall within an air quality focus area nor is the proposal considered a major development therefore an air quality assessment is not required.

NOISE

In the event of approval it is envisaged that a construction management plan condition would be included to ensure that the noise created but the construction of the proposed development does not significantly impact the surrounding properties.

7.19 Comments on Public Consultations

The issues raised have been addressed within the various section of the report. Issues of private rights are not planning matters.

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

Community Infrastructure Levy:

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014 and the Hillingdon CIL charge for residential developments is £95 per square metre of additional floorspace. This is in addition to the Mayoral CIL charge of £65 per sq metre.

8. Observations of the Borough Solicitor

General
Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions
Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations
Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights
Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic.

Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

The application site seeks outline planning permission for the development of the site to construct a new dwelling. All matters are reserved except for access and layout. This means that, if approved, further details will need to be approved before the proposal can be implemented. In this case this would be:

- appearance (how it looks including the exterior of the development)
- landscaping (the improvement or protection of the amenities of the site, as well as the way it links to roads and pathways outside the site)
- scale (the size of the development, including the height, width and length of the proposed building)

A single parking space is proposed on the site frontage, however it is understood that this space is currently allocated to No.5 Fairlight Drive which would therefore become devoid of any parking facility. Clearly this parking 'trade off' is not acceptable and the space cannot be included within the parking calculation resulting in a 'zero' parking provision for the proposal which falls well below the required standard. It is considered that in this case the lack of parking provision (in a location with a low PTAL of 2) would create parking stress and is therefore unacceptable.

This is backland development and it is considered that the layout of the development will be harmful to the character of the area. It is also considered that it has not been demonstrated that harm to residential amenities by loss of privacy will not arise.

The applicant has lodged an appeal on grounds of failure to determine. As such the recommendation is based on reasons that would have formed the basis of a refusal.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)
The London Plan (2016)
The Housing Standards Minor Alterations to The London Plan (March 2016)
Mayor of London's adopted Supplementary Planning Guidance - Housing (March 2016)
Technical Housing Standards - Nationally Described Space Standard
Hillingdon Design and Accessibility Statement: Accessible Hillingdon
National Planning Policy Framework

Contact Officer: Cris Lancaster **Telephone No:** 01895 250230

Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

Land Adjacent to 10 Kent Close & 5 Fairlight Drive, Kent Close

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref: **75553/APP/2020/1357**

Scale: **1:1,250**

Planning Committee: **Central & South Pth**

Date: **January 2021**

HILLINGDON LONDON

Report of the Head of Planning, Transportation and Regeneration

Address 1 RAYNTON CLOSE HAYES

Development: Two storey side extension and single storey side/rear extension

LBH Ref Nos: 8096/APP/2020/3154

Drawing Nos:
1rayntonclose2019-04 Received 10-12-2020
1rayntonclose2019-05 Received 10-12-2020
1rayntonclose2019-06 Received 10-12-2020
1rayntonclose2019-07 Received 10-12-2020
1rayntonclose2019-07A
1rayntonclose2019-01
1rayntonclose2019-02 (Existing First Floor Plan)
1rayntonclose2019-02 (Existing Elevations)

Date Plans Received: 03/10/2020 **Date(s) of Amendment(s):** 03/10/2020

Date Application Valid: 07/10/2020

2. RECOMMENDATION

APPROVAL subject to the following:

1 HO1 **Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON
To comply with Section 91 of the Town and Country Planning Act 1990.

2 HO2 **Accordance with approved**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 1rayntonclose2019-04, 1rayntonclose2019-05, 1rayntonclose2019-06 and 1rayntonclose2019-07.

REASON
To ensure the development complies with the provisions of the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020), and the London Plan (2016).

3 HO4 **Materials**

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building and shall thereafter be retained as such.

REASON
To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020)

4 HO5 **No additional windows or doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted

Development) Order 2015 (as amended) (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing property at No.2 Raynton Close.

REASON
To prevent overlooking to adjoining properties in accordance with policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

5 HO7 **No roof gardens**

Access to the flat roof over the extension hereby approved shall be for maintenance or emergency purposes only and the flat roof shall not be used as a roof garden, terrace, balcony, patio or similar amenity area.

REASON
To prevent overlooking to adjoining properties in accordance with policy policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

6 NONSC **Non Standard Condition**

The development hereby approved shall not be sub-divided to form additional dwelling units or used in multiple occupation without a further express permission from the Local Planning Authority.

REASON
To ensure that the premises remain as a single dwelling until such time as the Local Planning Authority may be satisfied that conversion would be in accordance with Policies DMH 4 and DMH 5 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

INFORMATIVES

1 I59 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

2 I47 **Damage to Verge - For Council Roads:**

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge of footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a

private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

3. CONSIDERATIONS

3.3 Relevant Planning History

8096/APP/2019/3719 1 Raynton Close Hayes

Part two storey, part single storey side extension

Decision: 05-02-2020 Refused **Appeal:** 22-09-2020 Dismissed

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHB 11 Design of New Development
DMHB 12 Streets and Public Realm
DMHD 1 Alterations and Extensions to Residential Dwellings
DMT 6 Vehicle Parking
LPP 3.5 (2016) Quality and design of housing developments

5. Advertisement and Site Notice

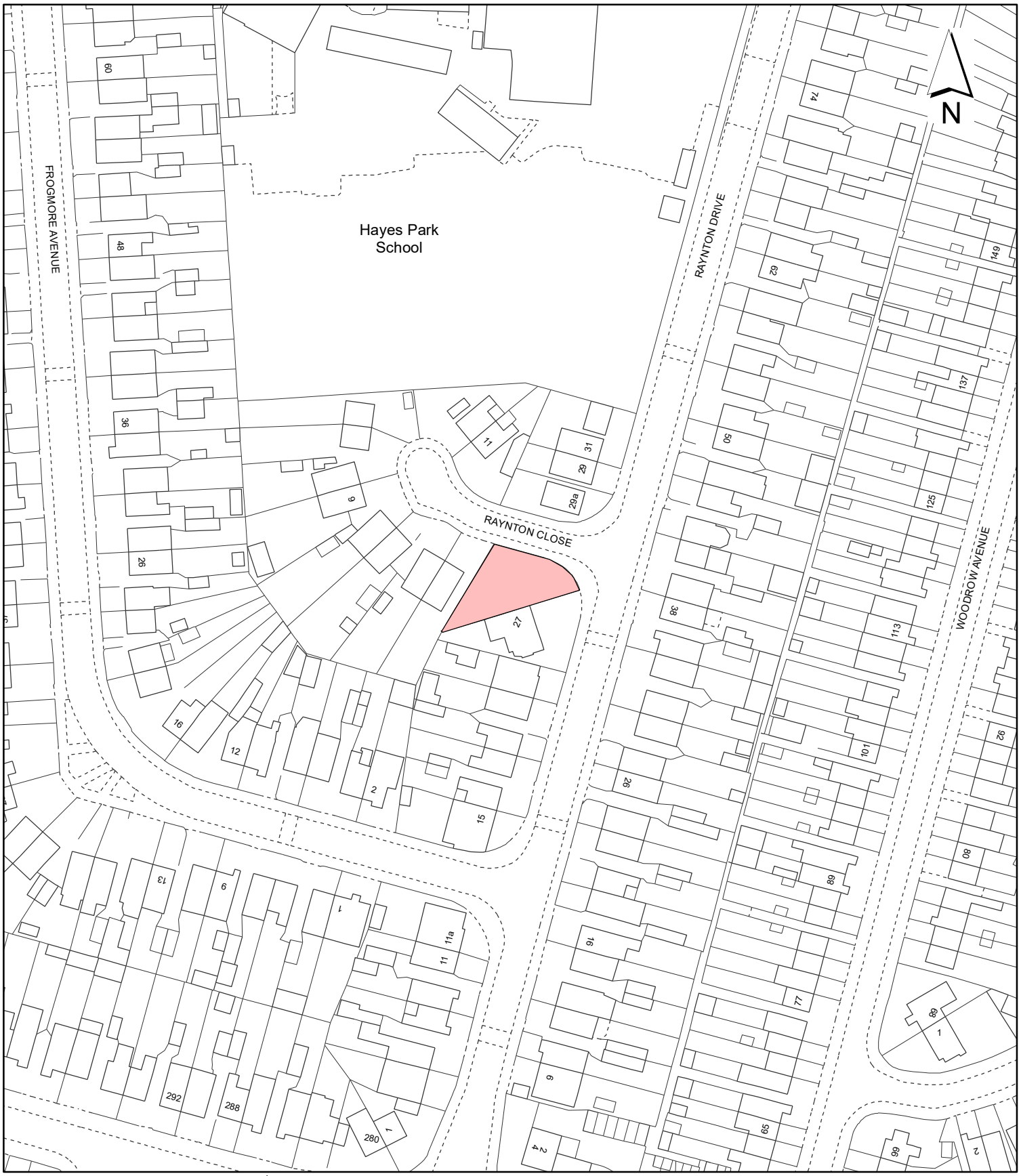
5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

7. MAIN PLANNING ISSUES

Contact Officer: Batatunde Aregbesola **Telephone No:** 01895 250230



Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

1 Raynton Close
Hayes

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
8096/APP/2020/3154

Scale:
1:1,250

Planning Committee:
Central & South

Date:
January 2021

HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address 336 BALMORAL DRIVE HAYES

Development: Conversion of dwelling to 2 x 1-bed self-contained flats with associated parking and amenity space following demolition of existing outbuilding

LBH Ref Nos: 71770/APP/2020/3572

Drawing Nos:
2020/94-05
2020/94-06
2020/94-01
2020/94-02
2020/94-03 (Proposed First Floor and Loft Floor Plan)
2020/94-03 (Proposed Elevations)

Date Plans Received: 22/10/2020 **Date(s) of Amendment(s):**

Date Application Valid: 22/10/2020

1. SUMMARY

The proposal would have an acceptable visual impact, would provide an acceptable level of residential amenity to future and adjacent occupiers and would not prejudice highway or pedestrian safety.

The proposed development by virtue of its design, size and scale would not be detrimental to the amenities of the adjoining properties in terms of over-dominance, overshadowing, and visual intrusion, loss of light and loss of outlook and would respect the existing character and appearance of the host dwelling and wider local area.

The proposed development is considered acceptable having due regard to its impact on the character and appearance of the area, the street scene and the highway network, waste, landscaping, access and flooding.

2. RECOMMENDATION

APPROVAL subject to the following:

1 RES3 **Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON
To comply with Section 91 of the Town and Country Planning Act 1990

2 RES4 **Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 2020/94 -02, 2020/94-03 (Proposed First Floor and Loft Floor Plan), 2020/94-03 (Proposed Elevations), 2020/94 -05 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan Part 1 (2012), Part 2 (2020) and the London Plan (2016).

3 RES9 **Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Hard Landscaping
1.a Refuse Storage
1.b Cycle Storage
1.c Means of enclosure/boundary treatments
1.d Car Parking Layouts (including demonstration that all parking spaces are served by electrical charging points)
1.e Hard Surfacing Materials
1.f External Lighting

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON
To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies DMHB 11, DMHB 12, DMEI 1 and DMT 2 of the Hillingdon Local Plan Part 2 (2020).

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMH 4	Residential Conversions and Redevelopment
DMHB 11	Design of New Development
DMHB 14	Trees and Landscaping
DMHB 16	Housing Standards
DMHB 17	Residential Density
DMHB 18	Private Outdoor Amenity Space
DMHD 1	Alterations and Extensions to Residential Dwellings
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments

LPP 3.8	(2016) Housing Choice
NPPF- 2	NPPF-2 2018 - Achieving sustainable development
NPPF- 5	NPPF-5 2018 - Delivering a sufficient supply of homes
NPPF- 11	NPPF-11 2018 - Making effective use of land

3 I59 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

4 I5 **Party Walls**

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
carry out work to an existing party wall;
build on the boundary with a neighbouring property;
in some circumstances, carry out groundworks within 6 metres of an adjoining building.
Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Residents Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

5 I6 **Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

6 I15 **Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section

61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

7 I47 **Damage to Verge - For Council Roads:**

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge of footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

3. CONSIDERATIONS

3.1 Site and Locality

The application relates to a two storey semi-detached dwelling. It is located on the north side of Balmoral Drive. The application is setback from the adjacent highway with a front garden laid in hardstanding to provide off-street car parking with access off Balmoral Drive. To the rear is an enclosed rear garden with a shared access.

The application site falls outside the conservation area and no listed buildings within the immediate surroundings. The application site is within Critical Drainage Area.

3.2 Proposed Scheme

The applicant is seeking planning permission for the conversion of the single dwelling into 2 x 1 bedroom flats with associated amenity space and car parking space and the demolition of the existing outbuildings.

3.3 Relevant Planning History

71770/APP/2016/1331 336 Balmoral Drive Hayes

Erection of a single storey rear extension, which would extend beyond the rear wall of the origin house by 4 metres, for which the maximum height would be 4 metres, and for which the height c the eaves would be 3 metres

Decision: 16-05-2016 PRN

Comment on Relevant Planning History

71770/APP/2016/1331: Erection of a single storey rear extension, which would extend

beyond the rear wall of the original house by 4 metres, for which the maximum height would be 4 metres, and for which the height of the eaves would be 3 metres. Prior Approval N/Req

4. Planning Policies and Standards

London Borough of Hillingdon Development Plan (from 6th April 2020)

1.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

1.2 The Development Plan for the London Borough of Hillingdon currently consists of the following documents:
The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The Local Plan: Part 2 - Site Allocations and Designations (2020)
West London Waste Plan (2015)
The London Plan - Consolidated With Alterations (2016)

1.3 The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.
Emerging Planning Policies
1.4 Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:
(a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
(b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
(c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).
Draft London Plan (Intend to Publish Version, December 2019)

1.5 The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October 2019.

1.6 The Mayor has considered the Inspectors' recommendations and, on 9th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for the Inspectors' recommendations that the Mayor did not wish to accept. The Secretary of State responded on the 13th March 2020 and stated that he was exercising his powers under section 337 of the Greater London Authority Act 1999 to direct that modifications are required. These are set out at Annex 1 of the response, however the letter does also state that if the Mayor can suggest alternative changes to policies that would address the concerns raised, these would also be considered.

1.7 More limited weight should be attached to draft London Plan policies where the Secretary of State has directed modifications or where they relate to concerns raised

within the letter. Greater weight may be attached to policies that are not subject to modifications from the Secretary of State or that do not relate to issues raised in the letter.

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.H1 (2012) Housing Growth

Part 2 Policies:

DMH 4 Residential Conversions and Redevelopment
DMHB 11 Design of New Development
DMHB 14 Trees and Landscaping
DMHB 16 Housing Standards
DMHB 17 Residential Density
DMHB 18 Private Outdoor Amenity Space
DMHD 1 Alterations and Extensions to Residential Dwellings
DMT 2 Highways Impacts
DMT 6 Vehicle Parking
LPP 3.3 (2016) Increasing housing supply
LPP 3.4 (2015) Optimising housing potential
LPP 3.5 (2016) Quality and design of housing developments
LPP 3.8 (2016) Housing Choice
NPPF- 2 NPPF-2 2018 - Achieving sustainable development
NPPF- 5 NPPF-5 2018 - Delivering a sufficient supply of homes
NPPF- 11 NPPF-11 2018 - Making effective use of land

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

26 neighbouring properties were consulted via letter on 06-11-20 and expired on 27-11-20. 16 representation and a petition with 26 signatures received objecting to the proposal on the following grounds;

1. The re-development will impact on the privacy to our rear gardens, which will be majorly overlooked, especially from the upper floor flat which will have a direct view.
2. The proposal to convert a semi-detached family home into two 1 bedroom flats is totally out of character & keeping with the 1930's style of Nash built houses along the street.
3. Balmoral Drive suffers from parking stress as not all properties have sufficient off-street parking available. The development would put further strain on parking for all residents and visitors to

properties in Balmoral Drive.
4. The proposal will destroy the character of the road & also the surrounding area, which is predominantly family orientated.
5. Insufficient amenity space.
6. Bad precedent for other family homes to be converted into flats & maisonettes.

Internal Consultees

Access officer: No objection

Tree/Landscape: No objection, recommended pre-commencement condition

Highways officer: No comment

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy DMH 4: Residential Conversions and Redevelopment

Residential conversions and the redevelopment of dwellings into new blocks of flats will only be permitted where:
i) it is on a residential street where the proposal will not result in more than 10% of properties being redeveloped into flats;
ii) On residential streets longer than 1km the proposed redevelopment site should be taken as the midpoint of a 1km length of road for assessment purposes;
iii) the internal floor area of the original building to be converted is at least 120 sqm; and
iv) units are limited to one unit per floor for residential conversions.

336 Balmoral Drive, as extended, has a floor area of approximately 121 sq m. Council records indicate that there is one property (264 Balmoral Drive) with planning permission for flats in the immediate environment. This was granted permission in 2007 (Ref: 10426/APP/2007/726) and is some 420m from the application site. Thus, the proposal does not result in more than 10% of properties being redeveloped/converted into flats.

As such, the proposal would not result in a large concentration of flats that would cause range of problems, including increased on-street parking and resultant congestion on roads, the loss of front gardens, reductions in privacy, significant changes to the street scene, and loss of family accommodation. The internal floor area of the original building to be converted would be more than 120 sqm and there is only one flat per floor. The proposal, therefore, is considered acceptable in principle.

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy DMHD 1 states that alterations and extensions of dwellings will be required to ensure that there is no adverse cumulative impact of the proposal on the character, appearance or quality of the existing street or wider area;

Policy DMHB 11 states that A) All development, including extensions, alterations and new

buildings will be required to be designed to the highest standards and, incorporate principles of good design including: harmonising with the local context by taking into account the surrounding: scale of development, considering the height, mass and bulk of adjacent structures; building plot sizes and widths, plot coverage and established street patterns;

The proposed development would not involve any external alteration to the host property. As such, there would be no material impact on the architectural integrity and appearance of the host property and local area;

Therefore, the proposed development by virtue of its design, scale and nature of the works proposed would harmonise with the scale, form, architectural composition and proportions of the buildings within the immediate surroundings and not detract from the character of the wider area. The proposal would comply with policies DMHD1 and DMHD 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020)

7.08 Impact on neighbours

Policy DMHD 1 states that ii) a satisfactory relationship with adjacent dwellings is achieved; there is no unacceptable loss of outlook to neighbouring occupiers; vi) two storey extensions should not extend into an area provided by a 45-degree line of sight drawn from the centre of the nearest ground or first floor habitable room window of an adjacent property and should not contain windows or other openings that overlook other houses at a distance of less than 21 metres.

The proposed development is unlikely to harm the amenity of the adjoining properties as no external works on the host property are proposed. The applicant will sub-divide the rear garden into two in order to provide private amenity space for future occupiers and incorporate 1.8m fencing along the shared boundary. This is considered acceptable and would not result into unsatisfactory relationship with adjoining neighbours.

Objectors have raised the issue of overlooking and loss of privacy from the upper floor flat. However, no additional windows or changes to existing windows are proposed. Thus, the situation with regard to overlooking would remain unaltered and would not result in additional overlooking/loss of privacy over and above that currently experienced.

In terms of noise, it is considered that the number of residents within the flats would be similar to a single family and therefore there should be no more impact on neighbouring occupiers than what would reasonably be expected from a family of a similar size. Thus, it is considered that the conversion of the dwelling would not have an undue impact on existing residential amenity. Therefore, it is unlikely to exacerbate the current situation on site.

The proposal, therefore, would have a satisfactory relationship with the neighbouring properties.

7.09 Living conditions for future occupiers

On 25 March 2015, the Government introduced new technical housing standards in England, which comprise of new additional 'optional' Building Regulations on water and access, and a nationally described space standard (referred to as "the new national technical standards"). These new standards came into effect on 1 October 2015. The Mayor of London has adopted the new national technical standards through a minor alteration to The London Plan.

The Housing Standards (Minor Alterations to the London Plan) March 2016 sets out the

minimum internal floor spaces required for developments in order to ensure that there is an adequate level of amenity for existing and future occupants. The London Plan requires a single storey, 1 bed self-contained flat to provide a minimum of 50 sqm and a two storey, 1 bed self-contained flat to provide a minimum of 58 sqm.

The proposed floor plans demonstrate a total of 52m2 and 60m2 for flat A and flat B respectively are to be provided, thus the scheme accords with the above policies.

INTERNAL LAYOUT AND ACCOMMODATION

Policy 3.5 of the London Plan (2016) requires the design of new housing developments to consider elements that enable the home to become a comfortable place of retreat. Traffic noise and adjacent uses can hamper the quiet enjoyment of homes.

Standard 28 of the London Plan Housing SPG (2016) requires the developments to demonstrate how habitable rooms within each dwelling are provided with an adequate level of privacy in relation to neighbouring property, the street and other public spaces.

The proposed plans demonstrate that all units meet the minimum space standards required as do each habitable room. Adequate outlook and daylight is proposed for each habitable room and therefore the scheme is considered to be policy compliant. In addition, the proposed ceiling height of the accommodation within the roof will measure 2.3m.

AMENITY SPACE

Policy DMHB 18 of the Hillingdon Local Plan (2020) recognises that new residential buildings should 'provide external amenity space which is sufficient to protect the amenity of the occupants of the proposed and surrounding buildings'.

The applicant proposes to sub-divide the rear garden to create separate enclosed garden areas with individual access for each flat. Submitted plans demonstrate that the ground floor flat would be served by an outdoor amenity space of 50 square metres and the first floor flat would be served by an area measuring 50 square metres which is considered acceptable. The garden area can be access via two entry points either from the front or rear with a gated access.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy DMT 2 states that development proposals must ensure that: i) safe and efficient vehicular access to the highway network is provided to the Council's standards;

Policy DMT 6 states that A) Development proposals must comply with the parking standards outlined in Appendix C Table 1 in order to facilitate sustainable development and address issues relating to congestion and amenity. For 1 bed flat, 1.5 - 1 spaces per unit parking is required.

In this case, the proposed development would retain the existing vehicular access to the front to provide two off-street parking space for the proposed flats. The applicant has proposed to incorporate soft landscaping within the front garden. Applicant has shown individual cycle parking and bin storage within the enclosed garden area for each flat. As such, there is no principal objection to the proposed arrangement and the proposal will meet council standards. In addition, details regarding cycle parking stations and refuse collection has also been provided.

It is considered that the proposal is acceptable and would not measurably exacerbate congestion or parking stress, and would not raise any highway safety concerns, in accordance with the above policies.

7.11 Urban design, access and security

Not applicable to this application.

7.12 Disabled access

Access officer was consulted and concluded that, the proposal has been reviewed against the requirements of the 2016 London Plan policy 3.8(c) and policy D7 of the 2019 (Intend to Publish) London Plan which should not be applied to the conversion of an existing dwelling. Therefore, there is no principal objection raised from an accessibility perspective.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Policy DMHB 14: Trees and Landscaping
A) All developments will be expected to retain or enhance existing landscaping, trees, biodiversity or other natural features of merit.
B) Development proposals will be required to provide a landscape scheme that includes hard and soft landscaping appropriate to the character of the area, which supports and enhances biodiversity and amenity particularly in areas deficient in green infrastructure.

In this case, no trees will be affected by the conversion of the house to flats. In addition, there is no objection to the proposed external layout which provides two parking spaces, some soft landscape in the front garden and two dedicated amenity areas to the rear with bike and bin stores discretely and securely located to the rear. This is considered acceptable.

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

The issues raised have been covered in the main body of the report.

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

Policies DMEI 9 and DMEI 10 of the Hillingdon Local Plan: Part 2 - Development Management Policies (Jan 2020) seek to ensure that new development incorporates appropriate measures to mitigate against any potential risk of flooding and are further supported by Policies 5.13 and 5.15 of the London Plan (March 2016).

Paragraph 6.46 of the LPP2 states that Sustainable drainage systems (SuDS) are vital in addressing Hillingdon's surface water flood risk, which is predicted to rise as climate change increases the frequency of heavy rainfall and as further new development and

intensification within the Borough increases the volume of waste and surface water going into the existing drainage infrastructure. SuDS manage runoff from developments, reducing the quantity of water entering drains, especially at peak periods, improving the quantity of runoff and promoting amenity and biodiversity benefits from using water in the environment

The application site is located within an area identified as a Critical Drainage Area. The proposal is not of a scale which would require sustainable urban drainage details to be submitted therefore no further information or condition is required.

8. Observations of the Borough Solicitor

General
Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions
Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations
Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights
Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the

proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

Planning Permission is sought for the conversion of the dwelling house into 2 x 1-bed self-contained flats. The development has been assessed against adopted national, regional and local policies and it is considered that it would have no additional impact upon adjoining neighbours or the street scene given that no changes to the bulk and size of the dwelling is proposed. With regards to the internal and external amenity provided for the future occupants of the flats, it is considered that necessary measures have been taken to ensure a good standard of living space is provided.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Development Management Policies (2020)
The London Plan (2016)
The Housing Standards Minor Alterations to The London Plan (March 2016)
Mayor of London's adopted Supplementary Planning Guidance - Housing (March 2016)
Technical Housing Standards - Nationally Described Space Standard
National Planning Policy Framework

Contact Officer: Batatunde Aregbesola **Telephone No:** 01895 250230

Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

336 Balmoral Drive
Hayes

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
71770/APP/2020/3572

Scale:
1:1,250

Planning Committee:
Central & South

Date:
January 2021

This page is intentionally left blank

Report of the Head of Planning, Transportation and Regeneration

Address LAND ADJ. TO 27 FURZEHAM ROAD WEST DRAYTON

Development: Two storey attached dwelling with associated parking and amenity space

LBH Ref Nos: 75891/APP/2020/2961

Drawing Nos: Design and Access Statement
ZAAVIA/27FR/209 Issue A
ZAAVIA/27FR/210 Issue A
Location Plan (1:1250)
ZAAVIA/27FR/203 Issue A
ZAAVIA/27FR/204 Issue A
ZAAVIA/27FR/205 Issue A
ZAAVIA/27FR/208 Issue A
ZAAVIA/27FR/207 Issue A
ZAAVIA/27FR/201 Issue A
ZAAVIA/27FR/202 Issue A
ZAAVIA/27FR/206 Issue A

Date Plans Received: 17/09/2020 **Date(s) of Amendment(s):**

Date Application Valid: 17/09/2020

1. SUMMARY

The application seeks planning permission for the erection of a two storey attached dwelling with parking and amenity space. The proposal is considered to result in serious visual harm to the site and locality and would also result in a loss of residential amenity to occupiers of nearby properties. Furthermore the proposal fails to meet the requirements of London Plan policy 3.8 (c) which requires all new housing to provide appropriate facilities for people with disabilities.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposed dwelling, by reason of its excessive size, scale, bulk, design and proximity to the side boundary, would result in an incongruous form of development which would fail to harmonise with the architectural composition of the original semi-detached dwelling, would be detrimental to the character, appearance and symmetry of the pair of semi-detached houses of which it forms a part and to the visual amenities of the street scene and the surrounding area. Therefore the proposal would be contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies DMHB 11, DMHB 12 and DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

2 NON2 **Non Standard reason for refusal**

The proposed dwelling, by virtue of its size, scale, bulk, design and proximity, would be detrimental to the amenities of the adjoining occupiers at 23 and 24 Ruffle Close by reason of overdominance, visual intrusion and loss of outlook. Therefore the proposal would be contrary to Policies DMHB 11 and DMHD 1 of the Hillingdon Local Plan: Part

Two - Development Management Policies (2020).

3 NON2 **Non Standard reason for refusal**

The proposed dwelling, by virtue of its size, scale, bulk, depth and proximity, would be detrimental to the amenities of the adjoining occupiers at 27 Furzeham Road by reason of overdominance, overshadowing, visual intrusion, loss of light and loss of outlook. Therefore the proposal would be contrary to Policies DMHB 11 and DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

4 NON2 **Non Standard reason for refusal**

The proposed dwelling, by reason of its size, design and layout fails to provide a dwelling which meets the requirements of people with disabilities and would therefore give rise to a substandard form of living accommodation to the detriment of the amenity of future occupiers. The proposal is thus contrary to Policy 3.8 of the London Plan (2016).

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHB 16	Housing Standards
DMHB 18	Private Outdoor Amenity Space
DMHD 1	Alterations and Extensions to Residential Dwellings
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments
LPP 3.8	(2016) Housing Choice
LPP 7.2	(2016) An inclusive environment
LPP 7.4	(2016) Local character
NPPF- 2	NPPF-2 2018 - Achieving sustainable development
NPPF- 5	NPPF-5 2018 - Delivering a sufficient supply of homes
NPPF- 11	NPPF-11 2018 - Making effective use of land
NPPF- 12	NPPF-12 2018 - Achieving well-designed places

3 I59 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies

appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

4 I71 **LBH worked applicant in a positive & proactive (Refusing)**

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

We have however been unable to seek solutions to problems arising from the application as the principal of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

5 I74 **Community Infrastructure Levy (CIL) (Refusing Consent)**

This is a reminder that Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), should an application for appeal be allowed, the proposed development would be deemed as 'chargeable development' and therefore liable to pay the London Borough of Hillingdon Community Infrastructure Levy (CIL) and the Mayor of London's Community Infrastructure Levy (CIL). This would be calculated in accordance with the London Borough of Hillingdon CIL Charging Schedule 2014 and the Mayor of London's CIL Charging Schedule 2012. For more information on CIL matters please visit the planning portal page at: www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil

3. CONSIDERATIONS

3.1 Site and Locality

The application property comprises an attractive, bay fronted, Victorian semi-detached property located on the northern side of Furzeham Road at the eastern end of Furzeham Road within West Drayton. The property benefits from a good sized side/rear garden. The more modern developmet in Ruffle Close is located to the east. The property has been extended by a modest mono-pitched single storey rear extension to the rear of the outrigger. The property does not benefit from on site parking. The land to the east of the site is covered by TPO 564, however, there are no protected trees nearby.

3.2 Proposed Scheme

The application seeks planning permission for the erection of a two storey attached dwelling with parking and amenity space.

3.3 Relevant Planning History

71589/APP/2020/2931 27 Furzeham Road West Drayton

Two storey side extension, part two storey, part single storey rear extension

Decision: 03-12-2020 Refused

Comment on Relevant Planning History

A separate application under reference 71589/APP/2020/2931 was refused on 04-12-2020 for the erection of a two storey side extension and part two storey, part single storey rear extension.

4. Planning Policies and Standards

London Borough of Hillingdon Development Plan (from 17 January 2020)

1.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

1.2 The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)

The Local Plan: Part 2 - Development Management Policies (2020)

The Local Plan: Part 2 - Site Allocations and Designations (2020)

The London Plan - Consolidated With Alterations (2016)

1.3 The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

1.4 Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

(a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);

(b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and

(c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

1.5 The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October.

1.6 The Mayor has considered the Inspectors' recommendations and, on the 19th December 2019, issued to the Secretary of State his intention to publish the London Plan

along with a statement of reasons for any of the Inspectors' recommendations that the Mayor does not wish to accept.

1.7 Limited weight should be attached to draft London Plan policies that have not been accepted by the Mayor or that have only been accepted in part/with significant amendments. Greater weight may be attached to policies that were subject to the Inspector's recommendations and have since been accepted by the Mayor through the 'Intend to Publish' version of the Plan. The weight will then increase as unresolved issues are overcome through the completion of the outstanding statutory process. Greater weight may also be attached to policies, which have been found acceptable by the Panel (either expressly or by no comment being made).

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1	(2012) Built Environment
PT1.H1	(2012) Housing Growth

Part 2 Policies:

DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHB 16	Housing Standards
DMHB 18	Private Outdoor Amenity Space
DMHD 1	Alterations and Extensions to Residential Dwellings
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments
LPP 3.8	(2016) Housing Choice
LPP 7.2	(2016) An inclusive environment
LPP 7.4	(2016) Local character
NPPF- 2	NPPF-2 2018 - Achieving sustainable development
NPPF- 5	NPPF-5 2018 - Delivering a sufficient supply of homes
NPPF- 11	NPPF-11 2018 - Making effective use of land
NPPF- 12	NPPF-12 2018 - Achieving well-designed places

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

25 neighbouring properties were consulted by letter dated 21.9.20.

A petition of objection has been received signed by 27 signatories and 9 letters have been received objecting to the proposalon the following grounds:

1. Overdevelopment
2. Significant noise and disturbance experienced by occupants of the property which would be exacerbated if additional accommodation is provided
3. Development out of keeping with the street scene
4. Parking stress in the road/area
5. Proximity to rear garden result in in overdominant form of development and loss of light
6. Construction management issues
7 Concerns about HMO occupation

Officer note: The issues raised will be addressed in the sections below.

Internal Consultees

Access Officer:

In assessing this planning application for a new dwelling, reference has been made to London Plan policy 3.8(c) and its requirement for all new dwellings to be constructed in line with M4(2), as set out in Approved Document M to the Building Regulations. The proposed design fails to demonstrate compliance with the above policy requirement and associated technical specifications. Plans should be amended to incorporate an appropriately sized entrance lobby arrangement, entrance level WC, as well as bedrooms, bathrooms and living areas that are sized correctly with the required clear access zones shown on plan.

Conclusion: unacceptable.

Highways Officer:

Planning permission is sought build a new 4no. person 2no. bed dwelling on land adjacent to 27 Furzeham Road, the proposal would not provide any on-site car parking though parking for 2no. bicycles would be provided in a covered and secure storage unit in the front garden. Furzeham Road is a residential cul-de-sac comprising of traditional terraced properties, these houses are built close the back of footway leaving insufficient room to provide off-street car parking in the front garden. Residents that are car owners must therefore park on-street, a residents parking management scheme WD1 in operation, this restricts parking to householder permit holders only Monday to Friday 9am to 5pm. The application site has a PTAL ranking of 3 indicating that access to public transport is moderate compared to London as a whole suggesting that their will be some reliance on the private car for trip making.

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The Hillingdon Local Plan: Part 2 Development Management Policies (2020) Policy DMT 6: Vehicle Parking requires that development proposals must comply with the relevant parking standards. For a development of this type the maximum number of parking spaces permitted would be 2no. spaces. As mentioned above none would be provided.

Policy DMT 6: Vehicle Parking also requires that development proposal provide cycle parking, these standards are the maximum number that is required. For the development proposed a maximum of 2no. spaces are permitted. The 2no. cycle parking spaces proposed is therefore policy compliant.

Taking into account that most of the existing houses along Furzeham Road do not have off-street parking and that occupiers of the new dwelling would be able to apply join the WD1 residents parking management scheme, LBH Highways DC are satisfied that the proposed development is in accordance with the Hillingdon Local Plan: Part 2 Development Management Policies (2020) Policy DMT 1: Managing Transport Impacts, Policy DMT 2: Highway Impacts and Policy DMT 6: Vehicle Parking. The Highway Authority is satisfied that the development would not present a risk to road safety, hinder the free flow of traffic or lead to parking stress; there are no highway objections to this development.

Landscape Officer

The site is occupied by an end of terrace two-storey house situated at the end of a cul-de-sac. The plot is wider at the front than usual for this street and splays out towards the rear boundary. The land to the east of the site is covered by TPO 564, however, there are no protected trees nearby.

COMMENT: No trees or other significant landscape features will be affected by the proposal. If the application is recommended for approval, landscape conditions should be imposed to ensure that the development contributes to the character and appearance of the area.

RECOMMENDATION: No objection subject to the above comments and condition RES9 (parts 1, 2,5 and 6).

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application site is located within the built up area of West Drayton where there is no objection in principle to residential development subject to compliance with all other relevant policies within the Development Plan.

7.02 Density of the proposed development

Policy 3.4 of the London Plan (2016) seeks to ensure that the new development takes into account local context and character, the design principles in Chapter 7 and public transport capacity development should optimise housing output for different types of location within the relative density range shown in Table 3.2. Development proposals which compromise this policy should be resisted.

The density matrix, however, is only of limited value when looking at small scale development such as that proposed with this application. In such cases, it is often more appropriate to consider how the development harmonises with its surroundings and its impact on adjoining occupiers.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

The NPPF (2012) notes the importance of achieving design which is appropriate to its context stating that 'Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.'

Policy 7.1 of the London Plan states that "design of new buildings and the spaces they

create should help reinforce or enhance the character, legibility, permeability and accessibility of the neighbourhood".

Policy 7.4 of the London Plan states, "Development should have regard to the form, function, and structure of an area, place or street and the scale, mass and orientation of surrounding buildings. It should improve an area's visual or physical connection with natural features. In areas of poor or ill-defined character, development should build on the positive elements that can contribute to establishing an enhanced character for the future function of the area".

Policy BE1 of the Hillingdon Local Plan (November 2012) requires that all new development achieves a 'high quality of design in all new buildings, alterations and extensions'.

Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states that All development, including extensions, alterations and new buildings will be required to be designed to the highest standards and, incorporate principles of good design including: i) harmonising with the local context by taking into account the surrounding: · scale of development, considering the height, mass and bulk of adjacent structures; · building plot sizes and widths, plot coverage and established street patterns; · building lines and setbacks, rooflines, streetscape rhythm, for example, gaps between structures and other streetscape elements, such as degree of enclosure; architectural composition and quality of detailing; local topography, views both from and to the site; and impact on neighbouring open spaces and their environment. ii) ensuring the use of high quality building materials and finishes; iii) ensuring that the internal design and layout of development maximises sustainability and is adaptable to different activities; iv) protecting features of positive value within and adjacent to the site, including the safeguarding of heritage assets, designated and un-designated, and their settings; and v) landscaping and tree planting to protect and enhance amenity, biodiversity and green infrastructure.

The existing semi-detached dwelling measure 5.43m in width a traditional hipped roof. The proposed dwelling would measure 6.23m in width and would incorporate a two storey and single storey flat roofed which fails to integrate with the proposed hipped roof of the main dwelling. The dwelling would also entirely fill the space between the flank wall of the original property and the side boundary. The dwelling would entirely engulf the existing attractive semi-detached dwelling and would pay no heed to the Victorian floor plan. The parapet elements to the side would appear incongruous and unsympathetic. The proposed dwelling would further unbalance the existing pair of semis, being wider than the original pair. As such, the proposed dwelling, by reason of its excessive size, scale, bulk, incongruous design and proximity to the side boundary, would result in an incongruous form of development which would fail to appear subordinate to the original semi-detached dwelling and would fail to respect its architectural integrity giving rise to a cramped form of development, which would be detrimental to the visual amenities of the street scene and the wider area. The proposal would conflict with Policy Policy BE1 of the Hillingdon Local Plan (November 2012) and Policies DMHB11; SMHB12 and DMHD1 of the Hillingdon Local Plan - Part Two (2020).

7.08 Impact on neighbours

Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states that development proposals should not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.

The two storey side and single storey rear dwelling would not cause an unacceptable loss

of light, outlook or privacy to the occupants of the adjoining dwelling at Number 25 Furzeham Road.

Concerns are however raised in terms of the impact that the proposed outrigger would have on the levels of light and outlook to the ground floor dining room and kitchen windows of the host dwelling at Number 27 Furzeham Road. The rear facing dining room window and side facing windows are the only windows serving the rooms which would be dominated by the rear outrigger of the proposed dwelling resultin in an unacceptable loss of light and outlook in conflict with Policy DMHB 11 of the Hillingdon Local Plan - Part Two (2020).

Numbers 23 and 24 Ruffle Close are sited to the east. These properties are modern two storey terraced dwellings with modest rear gardens backing onto the side of the application site. Number 24 has been previously extended by way of a conservatory to the side/rear. A spearation distance of 14m would be achieved between the two storey rear wall of this terrace and just 11m from the conservatory. The proposal would result in an over-dominant form of development which would result in an unacceptable loss outlook to the occupants of these properties in conflict with the requirements of Policy DMHB 11 and DMHD 1 of the Hillingdon Local Plan - Part Two (2020).

Concerns have been raised by local residents that the proposed dwelling could be occupied as an HMO. It is noted that the application form states that the proposal is for a single private dwelling. In the event of an approvable scheme, a condition could be imposed to secure its use as such.

7.09 Living conditions for future occupiers

All housing development should have an adequate provision of internal space in order to provide an appropriate living environment. To achieve this all residential development or conversions should:

meet or exceed the most up to date internal space standards, as set out in Table 5.1. A two bedroom (4 person) two storey house is required to provide 78 square metres which the proposed dwelling would exceed.

Policy DMHB 18: Private Outdoor Amenity Space states:

All new residential development and conversions will be required to provide good quality and useable private outdoor amenity space. Amenity space should be provided in accordance with the standards set out in Table 5.2. A two bedroom dwelling is required to provide 60 square metres. Both the retained and proposed dwellings would exceed this minimum standard.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy DMT 2: Highways Impacts states:

Development proposals must ensure that:

i) safe and efficient vehicular access to the highway network is provided to the Council's standards;
ii) they do not contribute to the deterioration of air quality, noise or local amenity or safety of all road users and residents;
iii) safe, secure and convenient access and facilities for cyclists and pedestrian are satisfactorily accommodated in the design of highway and traffic management schemes;
iv) impacts on local amenity and congestion are minimised by routing through traffic by the

most direct means to the strategic road network, avoiding local distributor and access roads; and
v) there are suitable mitigation measures to address any traffic impacts in terms of capacity and functions of existing and committed roads, including along roads or through junctions which are at capacity.

Policy DMT 6: Vehicle Parking states:

A) Development proposals must comply with the parking standards outlined in Appendix C Table 1 in order to facilitate sustainable development and address issues relating to congestion and amenity.

The Council may agree to vary these requirements when:
i) the variance would not lead to a deleterious impact on street parking provision, congestion or local amenity; and/or
ii) a transport appraisal and travel plan has been approved and parking provision is in accordance with its recommendations.
B) All car parks provided for new development will be required to contain conveniently located reserved spaces for wheelchair users and those with restricted mobility in accordance with the Council's Accessible Hillingdon SPD.

The HIghways Officer has advised that Furzeham Road is a residential cul-de-sac comprising traditional terraced properties, these houses are built close the back of footway leaving insufficient room to provide off-street car parking in the front garden. Residents that are car owners must therefore park on-street, a residents parking management scheme WD1 in operation, this restricts parking to householder permit holders only Monday to Friday 9am to 5pm. The application site has a PTAL ranking of 3 indicating that access to public transport is moderate compared to London as a whole suggesting that their will be some reliance on the private car for trip making.

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The Hillingdon Local Plan: Part 2 Development Management Policies (2020) Policy DMT 6: Vehicle Parking requires that development proposals must comply with the relevant parking standards. For a development of this type the maximum number of parking spaces permitted would be 2no. spaces. As mentioned above none would be provided.

Policy DMT 6: Vehicle Parking also requires that development proposal provide cycle parking, these standards are the maximum number that is required. For the development proposed a maximum of 2no. spaces are permitted. The 2no. cycle parking spaces proposed is therefore policy compliant.

Taking into account that most of the existing houses along Furzeham Road do not have off-street parking and that occupiers of the new dwelling would be able to apply join the WD1 residents parking management scheme, LBH Highways DC are satisfied that the proposed development is in accordance with the Hillingdon Local Plan: Part 2 Development Management Policies (2020) Policy DMT 1: Managing Transport Impacts, Policy DMT 2: Highway Impacts and Policy DMT 6: Vehicle Parking. The Highway Authority is satisfied that the development would not present a risk to road safety, hinder the free flow of traffic or lead to parking stress; there are no highway objections to this development.

7.11 Urban design, access and security

The issues are addressed in the above and below sections of the report.

7.12 Disabled access

The proposed attached dwelling incorporates design features which are incompatible with the standards required for an M4 (2) category home, as required by London Plan policy 3.8 (c) which requires all new housing to provide appropriate facilities for people with disabilities. The proposal fails to demonstarte the provision of an appropriately sized entrance lobby arrangement, entrance level WC, as well as bedrooms, bathrooms and living areas that are sized correctly with the required clear access zones shown on plan. As such the proposal is considered unacceptable in accessibility terms.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Policy DMHB 14: Trees and Landscaping requires:

A) All developments will be expected to retain or enhance existing landscaping, trees, biodiversity or other natural features of merit.
B) Development proposals will be required to provide a landscape scheme that includes hard and soft landscaping appropriate to the character of the area, which supports and enhances biodiversity and amenity particularly in areas deficient in green infrastructure.
C) Where space for ground level planting is limited, such as high rise buildings, the inclusion of living walls and roofs will be expected where feasible.
D) Planning applications for proposals that would affect existing trees will be required to provide an accurate tree survey showing the location, height, spread and species of trees. Where the tree survey
identifies trees of merit, tree root protection areas and an arboricultural method statement will be required to show how the trees will be protected. Where trees are to be removed, proposals for replanting of new trees on-site must be provided or include contributions to offsite provision.

The adjacent land to the east lies within the area covered by TPO 564, however, there are no protected tree nearby. No trees or other significant landscape features will be affected by the proposal.

in the event of an approvable scheme, landscape conditions could be imposed to mitigate the impact of the development.

7.15 Sustainable waste management

In the event of an approvable scheme, conditions could be imposed to secure appropriate sustainable waste management.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

The comments are addressed int he sections above.

7.20 Planning obligations

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014 and the Hillingdon CIL charge for residential developments is £95 per square metre of additional floorspace. This is in addition to the Mayoral CIL charge of £60 per sq metre.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

No other issues raised.

8. Observations of the Borough Solicitor

General
Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions
Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations
Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights
Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be

given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

The application seeks planning permission for the erection of a two storey attached dwelling with parking and amenity space. The proposal is considered to result in serious visual harm to the site and locality and would also result in a loss of residential amenity to occupiers of nearby properties. Furthermore the proposal fails to meet the requirements of London Plan policy 3.8 (c) which requires all new housing to provide appropriate facilities for people with disabilities. Refusal is therefore, recommended.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)
The London Plan (2016)
The Housing Standards Minor Alterations to The London Plan (March 2016)
Mayor of London's adopted Supplementary Planning Guidance - Housing (March 2016)
Technical Housing Standards - Nationally Described Space Standard
Hillingdon Design and Accessibility Statement: Accessible Hillingdon
National Planning Policy Framework

Contact Officer: Nicola Taplin **Telephone No:** 01895 250230

Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

Land Adjacent to 27 Furzeham Road

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
75891/APP/2020/2961

Scale:
1:1,250

Planning Committee:
Central & South

Date:
January 2021

HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address CEDAR HOUSE VINE LANE HILLINGDON

Development: Change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel)

LBH Ref Nos: 12019/APP/2020/3615

Drawing Nos: CH/P1/01
CH/P1/02
CH/P1/03
Design and Access Statement
Trip Generation Assessment October 2020

Date Plans Received: 30/10/2020 **Date(s) of Amendment(s):**

Date Application Valid: 30/10/2020

1. SUMMARY

Planning permission is sought for the change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel).

The creation of the car parking area results in the loss of green space, leading to an increase in the built-up appearance of the site, along with potential to cause damage to a historic garden and a failure to appropriately safeguard and preserve the historic boundary wall. As such, the proposal would fail to preserve or enhance the character, appearance and setting of the Grade II* Listed Building and the surrounding Hillingdon Village Conservation Area, including the immediate street scene, and would impact on residential amenity, contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies DMHB 1, DMHB 2, DMHB 4, DMHB 11 and DMHB 12 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

The proposal has not provided a full tree assessment and arboricultural method statement to demonstrate that the proposal would be able to safeguard trees protected by TPO 78a and the Hillingdon Village Conservation Area and so the proposed development does not comply with Policies DMHB 4 and DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

The proposal to use part of the site as an overflow car park is as result of the current Covid 19 pandemic following a reduction in use of cars associated with the 'airport chauffer service' and an increase in on-site parking demand as a result. Based on pre-pandemic assumptions, activity related to the 'airport chauffer service' is projected to give rise to a marginal increase in site traffic generation, thereby not resulting in detrimental congestion or parking stress or cause any measurable highway safety concerns. Post-pandemic the on-site parking demand associated with the business would be reduced and returned to pre-Covid minimum level of demand. Therefore the proposal complies with Policies DMT 1, DMT 2 & DMT 6 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and Policies 6.3 and 6.13 of the London Plan (2016).

The application is recommended for refusal.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposal, by virtue of the creation of a parking area resulting in the loss of green space, potential damage to a historic garden and failure to appropriately safeguard and preserve the historic boundary wall, fails to preserve or enhance the character, appearance and setting of the Grade II Listed Building and the surrounding Hillingdon Village Conservation Area. The proposal is therefore contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMHB 1, DMHB 2, DMHB 4, DMHB 11 and DMHB 12 of the Hillingdon Local Plan Part Two - Development Management Policies (January 2020), Policy 7.8 of the London Plan (2016) and the National Planning Policy Framework (2019).

2 NON2 **Non Standard reason for refusal**

In the absence of a Tree Survey and Arboricultural Implication Assessment to BS5837:2012 standards, the application has failed to demonstrate that the development will safeguard existing trees on and adjoining the site and further fails to demonstrate protection for and long-term retention of the trees. The proposal is therefore detrimental to the visual amenity of the street scene and the wider Hillingdon Village Conservation Area, contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policy DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and the National Planning Policy Framework (2019).

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMHB 1	Heritage Assets
DMHB 2	Listed Buildings
DMHB 4	Conservation Areas
DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMT 1	Managing Transport Impacts
DMT 2	Highways Impacts

DMT 6	Vehicle Parking
LPP 6.3	(2016) Assessing effects of development on transport capacity
LPP 6.13	(2016) Parking

3 I59 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises a grassed area within the curtilage of a Grade II* Listed Building located on the corner of Vine Lane and Hillingdon Hill/Uxbridge Road. The site is bordered to the north by 1-2 Cedars Court and 16 Vine Lane. 70, 72, 74, 76 and 78 Cedars Drive are located to the north-east of the site with 77 and 79 Cedars Drive located to the east. Field Cottage, Uxbridge Road is located south-east of the site. 1-9 Vine Lane and The Vine Inn Public House, 121 Hillingdon Hill, are located to the west of the application site. The Grade II* Church of St John the Baptist, Royal Lane is located 25m to the south.

The application site is located within the Hillingdon Village Conservation Area and is covered by TPO 78a.

3.2 Proposed Scheme

Planning permission is sought for the change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel). The works have already been carried out on site.

An application for Listed Building Consent is being dealt with under application ref: 12019/APP/2020/3616.

3.3 Relevant Planning History

12019/APP/2020/3616 Cedar House Vine Lane Hillingdon

Change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel) (Listed Building Consent)

Decision:

Comment on Planning History

There is a current planning enforcement investigation in regards to the overflow car park on the grassed area which has already been implemented without planning permission. and the use of the site as an 'airport chauffeur service'. The current planning application seeks to retain the overflow car park.

4. Planning Policies and Standards

1.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

1.2 The Development Plan for the London Borough of Hillingdon currently consists of the following documents:
The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The Local Plan: Part 2 - Site Allocations and Designations (2020)
The West London Waste Plan (2015)
The London Plan - Consolidated With Alterations (2016)

Material Considerations
1.3 The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.
Emerging Planning Policies

1.4 Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:
(a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
(b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
(c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)
1.5 The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October 2019.

1.6 The Mayor has considered the Inspectors' recommendations and, on 9th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for the Inspectors' recommendations that the Mayor did not wish to accept. The Secretary of State responded on the 13th March 2020 and stated that he was exercising his powers under section 337 of the Greater London Authority Act 1999 to direct that modifications are required. These are set out at Annex 1 of the response, however the letter does also state that if the Mayor can suggest alternative changes to policies that would address the concerns raised, these would also be considered.

1.7 More limited weight should be attached to draft London Plan policies where the Secretary of State has directed modifications or where they relate to concerns raised within the letter. Greater weight may be attached to policies that are not subject to modifications from the Secretary of State or that do not relate to issues raised in the letter.

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

DMHB 1 Heritage Assets
DMHB 2 Listed Buildings
DMHB 4 Conservation Areas
DMHB 11 Design of New Development
DMHB 12 Streets and Public Realm
DMHB 14 Trees and Landscaping
DMT 1 Managing Transport Impacts
DMT 2 Highways Impacts
DMT 6 Vehicle Parking
LPP 6.3 (2016) Assessing effects of development on transport capacity
LPP 6.13 (2016) Parking

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Consultation letters were sent to 18 local owners/occupiers. Site Notices were displayed on site and the application was advertised in the local press. Seven responses have been received:

i) the application area is gravel and is being used as a commercial used car lot - prospective buyers visit without appointments during the week/Sundays appointment only
ii) car park full on Sundays when office closed - many cars covered by tarpaulins and remain in place overnight
iii) information provided in application misleading/change of use concealed
iv) use as a used car lot/large parking area detrimental to amenity of residential area and inappropriate in grounds of Grade II* Listed Building/does not preserve or enhance historic character
v) poor condition of gravel car park (plastic grid showing through the gravel)/clearance of garden impact on setting of Listed Building
vi) additional commercial activity/parking likely to increase in traffic/congestion on already busy Vine Lane
vii) significant amount of vegetation including trees cleared from site
viii) work already taken place
ix) traffic survey carried out during lockdown - doesn't take usual traffic on Vine Lane into account
x) residents unable to park/access own drives due to constant deliveries and inconsiderate parking by visitors to Cedar House/opening only allows one car at a time
xi) will the 'temporary' parking be returned to grass area?
xii) condition of listed wall/will it be rebuilt?

xiii) will spoil beautiful Listed Building and area
xiv) could have infringement on Cedar Drive resident car park as they could use the gate from Cedar Drive to access the car park
xv) increase in traffic through Cedars Drive

One petition with 51 valid signatories has been received, objecting for the following reasons:

a) Loss of property
b) Illegal works damage area in October 2020
c) Private residents parking
d) Disabled and elderly are not able to access notices
e) Grade II Listing on wall and building
f) Private residents area/road owned by residents - residents liable for damage costs
g) TPO on all trees and Hillingdon in Bloom Winners
h) Residents Association Cedar and Buckingham Grove not informed/ no letters to 81-95 Cedars Drive
i) Residents unable to access Council website to view application
j) Two application references
k) Site notice only on Uxbridge Road and keep being removed
l) Roots of Cedar tree in grounds constantly driven on

Ward Councillor: Requests that the application is decided by the relative Planning Committee if recommended for approval.

Internal Consultees

Conservation Officer:

Summary of comments: Harm to the setting of Cedars House. Fails to provide any information relating to the safeguarding of the garden walls to the east of the site area.

Historic Environment Designations
· Setting and curtilage of Grade II* Listed Building - Cedar House (NHLE: 1284903)
· Setting and curtilage of Grade II Listed Building - Garden walls to the east of Cedar House (NHLE: 1358416)
· Hillingdon Village Conservation Area (HVCA)

Assessment - Background/ Significance

The application site falls within the curtilage and setting of Cedar House and associated garden walls to the east of house. Considering the nature of the proposed development the background/significance assessment of the site in this instance would primarily focus on the setting of the heritage assets and its contribution to their significance. The National Planning Policy Framework (NPPF) glossary (2019) defines significance as 'the value of a heritage asset to this and future generations because of its heritage interest'. Such interest is made up of a number of heritage values and not only includes its physical built form but also its wider setting. Understanding what contributes to the significance of a place is crucial in managing change. In this instance the setting and its contribution to the significance of the surrounding listed buildings is what is relevant in the assessment of this development proposal.

The submitted Design and Access Statement, fails to meet the requirements of paragraph 189 of the NPPF (2019), it does not acknowledge that the site is located within the curtilage of listed buildings or that it forms part of a conservation area.

Cedar House is a Grade II* Tudor building set within a spacious plot. The building originally dates

from the mid to late 16th century, however the property was partly remodelled in the 18th century. During the 18th century the property was occupied by the botanist, Samuel Reynardson who is thought to have planted the original Cedar tree to the south of the house (fronting onto the Uxbridge Road) which in turn lends its name to the property. In the 1950s the house was used as a school, known as Rutland School and then subsequently became offices in the latter part of the 20th century (c.1971).

The main portion of the historic building is three storeys in height with the top storey contained within the roof form which features gables. It is externally characterised by its red brick exterior and historic plain clay tiled roof. The elevations are decorated with traditional timber windows, comprising of vertical sliding, multi-paned sash windows and casement windows at roof level and along the northern elevation. The two-storey built form located to the south-west of the main brick building and abutting Vine Lane is a half-timbered 19th century wing built for Sir Howard Button. The north-western block along the boundary with Vine Lane is a modern addition dating from the late 20th century.

The buildings to the north of Cedar House were originally ancillary building associated to Cedar House and the later school. They formed part of the curtilage of the original property. Whilst now separated from Cedar House, in line with Historic England guidance they are considered curtilage listed due to their age, historic association and use and ownership at the time of listing. As existing it is understood they are residential dwellings. They contribute to the setting and significance of Cedar House.

The entire site is bounded by brick walls. Gates provide access to the site however only the western access is used. The red brick garden walls to the east of the house are listed in their own right, and originally date from the 16th century. The wall encloses what would have most likely have been the former historic Tudor gardens, which contributes to the significance and historic interest of the site. The estate itself was most likely much larger and the area to the east of the garden wall has historically existed as an orchard. Unfortunately, the walls themselves have clearly been neglected over the years and are in much need of sensitive repairs.

The area to the south of the house, fronting onto Uxbridge Road, is characterised by open grassland. The Cedar tree is a prominent positive feature of the site and conservation area. Its existence contributes to the historic interest of the house. A path leads from the southern historic pedestrian gate to the entrance of the house. The area to the north of the house has been significantly altered due to the new modern block along the western boundary and separation of the curtilage listed ancillary buildings to the north, from Cedar House. The space is defined by detracting hardstanding to facilitate car parking. A low-rise brick wall separates the car parking area from the site area affected by the works relating to this application. This area may have historically comprised of the kitchen garden associated to the house as historic maps show that the area was enclosed. The use of the space could only be ascertained through further research, ground excavation and analysis work, nevertheless, prior to the most recent works to the space, it had been simply defined by an open grassed area. The grass finish to the area contributed to the verdant appearance of the site, particularly within the northern portion as the area, which is already substantially covered by hardstanding.

It is recognised the original quality of the gardens most likely eroded when the property was used as a school hence the extensive areas of hardstanding to the north of the building. Whilst somewhat altered, the open, verdant nature of the site contributes to the setting of Cedar House and what was once a formal garden space, particularly to the south and east of the site. The setting contributes to how the heritage assets are experienced. The grounds are interlinked with the significance of the house and garden walls which bound it, contributing to its historic interest. The space associated to heritage assets form part of the historic environment and preservation of original settings and where appropriate opportunities to enhance or reinstate such settings should be taken.

In addition to the buildings and garden walls being listed the site also forms part of the Hillingdon Village Conservation Area. The conservation area is characterised by the historic Hillingdon Village and large areas of green belt land. Whilst some of the village-like qualities have been diminished by the Uxbridge Road, it contains a notable number of Listed Buildings contributing to its historic integrity and architectural interest. Cedar House and its respective site positively contribute to the significance and interest of Hillingdon Village.

Assessment - Impact & harm

Whilst the site area affected by the works forms part of the curtilage and setting of Listed Building the description of works relating to this application do not appear to include alterations to historic built fabric. Therefore, in this instance Listed Building Consent is not required.

Following a site visit with a Planning Enforcement Officer on the 1st October 2020 it was evident that works had already taken place therefore it is recognised that this application has been submitted retrospectively. An opening within a wall to the north of the area affected by the works has been created in order to provide access for vehicles. The wall appeared to be modern in construction and such an alteration in isolation, is not considered to be harmful to the historic built environment.

The alteration of grass to a reinforced gravel finish has dramatically changed the former green, natural environment, resulting in the expansion of a hard ground finish within the grounds of Cedar House. In itself the works are reversible, however the loss of visible green space and introduction of car parking in this location would harm the setting of Cedar House. Whilst an empty car park may remain open in appearance, a collection of modern vehicles would be considered particularly detracting. The submitted information in relation to the proposed use of the site as an overflow car park lacks any justification. The permanence of the current climate relating to the pandemic is not clear and to propose such a long-term permanent solution would establish an unwelcome precedent to the site. It is not clear why the proposed number of spaces are required - could such use be accommodated with a smaller area reducing the loss of green space?

There would be serious concerns that the historic garden would be at risk from potential damage due to the proposed layout and provision of vehicles being parallel parked along the boundary wall. The historic wall is a designated heritage asset in its own right and failing to appropriately safeguard the wall and ensure its preservation would inevitably result in irreplaceable loss and/or costly repair works. As noted above the wall would benefit from sensitive repairs to ensure its long-term future structural integrity. The proposal makes no indication to ensure the wall would be adequately safeguarded as part of the proposed new use of the area.

It is unclear whether any ground excavation works have taken place, however the finish used tends to warrant only surface level interference. Nevertheless, it is important to note that in considering the age and history of the site any excavation (at depth) needs to account the potential of revealing underground archaeology.

The development would be of no benefit to the historic built environment. The wall would remain in its existing condition with potential risk of future damage by parking of vehicles and harm to the setting of Cedar House. In this instance such harm would amount to less than substantial. In any instance sections 66 (1) and 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 would need to be considered. From a historic environment perspective, the development would fail to preserve or enhance the setting of the Listed Building.

Conclusion: Less than substantial harm to the setting of the Listed Building.

Highways:

Site Characteristics & Background
The address is located off Vine Lane which lies to the north of the Uxbridge Road. The site is designated for several business use purposes (use class E) totalling 656m2 (GIFA) within a listed building and includes approximately 31 informally laid out on-plot parking spaces. The proposal is for the provision of an overflow car park on a verdant grassed area within the site curtilage which would add up to 15 additional spaces. Access would be taken from the internal roadway.

As this is a retrospective application, it is understood that 'Planning Enforcement' have been involved and it is confirmed, that an 'airport chauffer service' is utilising the said informally laid out parking area. It is stated that this use is affiliated with part of the existing E use class business enterprise which, pre-pandemic, utilised a small part of area in question with the need to store several vehicles on-site. However, as business demand reduced thereafter, there was a need for more 'inactive' vehicles to be stored on this overflow area i.e. up to 15 in number which has prompted this application.

Appraisal
The applicant has provided a profile of activity related to the site operation due to the additional vehicle activity caused by the usage of the overflow car park.

Pre-Pandemic
Using a land use travel database (TRICS), it has been demonstrated that the existing business uses can generate up to 63 two-way movements during the whole working day (7am to 7pm) with approximately 16 two-way trips during the 'traffic sensitive' am & pm peak traffic periods.

The applicant indicates that in normal times, somewhere in the region of 75% of the chauffeured vehicles are not normally stored on site as they're on the road which leaves 25% (3-4 vehicles) potentially entering, parking and leaving the site on a daily basis. For robustness the 25% figure has been raised to 50% in order to demonstrate a worst-case scenario. It is therefore projected that activity related to proposal would give rise to a marginal site traffic increase of approximate 70 two-way daily trips with approximately 16/17 two-way trips during the am & pm peak traffic periods respectively.

The presented estimations are considered realistic and based on pre-pandemic assumptions which, as a consequence, have now been further reduced with only an increase in parking storage demand. Therefore, the projected marginal uplift in activity does not raise any specific or measurable highway concerns in terms of traffic generation.

It is anticipated that post-pandemic, on-plot parking demand would reduce and return to the minimal level of demand which is inferred by the nature of 'temporary' surfacing introduced on the grassed area for up to 15 vehicles. A suitable planning condition may be appropriate in this respect in order to help ensure that the area of verdant land is returned to its former status once the pandemic concludes.

Conclusion
The application has been reviewed by the Highway Authority who are satisfied that this retrospective proposal would not discernibly exacerbate congestion or parking stress, and would not raise any measurable highway safety concerns, in accordance with Local Plan: Part 2 Development Plan Policies DMT 1, DMT 2 & DMT 6 and Policies 6.3 and 6.13 of the London Plan (2016).

Trees/Landscape Officer:

This site is occupied by a Grade II* Listed Building, which occupies a generous size plot at the junction with Uxbridge Road. The building is used as offices and the external spaces provide car parking and gardens for the site. All trees on the site are protected by virtue of their location within

Hillingdon Village Conservation Area and selected trees are protected by TPO 78, including T64, T66, T67, T68, T69 and G32 on, or adjacent to, the subject of this application.

COMMENT: No tree report or arboricultural impact assessment has been submitted, without which it is not possible to consider to what extent the proposed car park may damage the trees. While the use of a gravel filled grid is one of the more sympathetic surface treatments close to trees, a full tree assessment and construction method statement should be submitted prior to determination of this application.

RECOMMENDATION: In the absence of a tree report and arboricultural method statement to BS5837:2012, the proposal has failed to safeguard protected trees, which is contrary to policy DMHB 14. The application should be refused.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The proposed overflow car park is associated with an existing business (Use Class E) on the site. The principle of development is subject to compliance with relevant policies of the Hillingdon Local Plan: Part One- Strategic Policies (November 20212) and the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Policy HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) states that the Council will conserve and enhance Hillingdon's distinct and varied environment, its settings and the wider historic landscape (including locally and statutorily Listed Buildings, Conservation Areas, Areas of Special Local Character and Archaeological Priority Zones and Areas), and encourage the reuse, modification and regeneration of historic assets.

Policy DMHB 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) states that the Council will expect development proposals to avoid harm to the historic environment and to prevent the loss of significance or harm to the character, appearance and setting of heritage assets (Listed Buildings, Conservation Areas and Scheduled Ancient Monuments).

Policy DMHB 2 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) will only permit developments that retain the significance and value of Listed Buildings whilst being appropriate in terms of the fabric, historic integrity, spatial quality and layout of the building. In addition, any alterations or additions to a Listed Building should be sympathetic to terms of scale, proportion, detailed design, materials and workmanship. Planning permission will not be granted for proposals that are considered detrimental to the setting of a Listed Building.

Policy DMHB 4 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to protect Conservation Areas from inappropriate developments and to preserve or enhance those features which contribute to their special architectural and visual qualities, including existing landscaping.

The Council's Conservation Officer has assessed the proposal and objects to the change of the grassed area into an overflow car park. The alteration of the grassed area to a reinforced gravel finish has resulted in a dramatic change from the formerly green, natural environment, to an expansive hard ground finish within the grounds of Cedar House. Although these works could be reversible, the loss of the green space and the introduction

of car parking in this area results in harm to the setting of the Grade II* Listed Cedar House. The information submitted with the application lacks justification for the proposed use of the site as an overflow car park, and the permanence of the current climate relating to the current Covid 19 pandemic is not clear and a long-term use of the site for car parking would establish an unwelcome precedent.

In addition, the Conservation Officer has concerns over the potential damage to the historic garden from the proposed layout and vehicles parallel parking along the boundary wall. As the historic boundary wall is a designated heritage asset in its own right, failure to appropriately safeguard the wall and ensure its preservation would lead to irreplaceable loss and/or costly repair works; the wall would benefit from sensitive repairs in order to ensure its long-term future structural integrity. The proposed scheme does not indicate that the wall would be adequately safeguarded as part of the proposed new use of the area.

Overall, the change of use of the grassed area to an overflow car park does not benefit the historic built environment of the site and surrounding area, whilst the parking of vehicles close to the historic boundary wall and lack of repairs/safeguarding of the wall is likely to cause harm and future damage to the historic boundary wall and to the character, appearance and setting of the Grade II* Listed Building.

Therefore, the proposal would fail to preserve or enhance the character, appearance and setting of the Grade II* Listed Building and the surrounding Hillingdon Village Conservation Area, contrary to Policy HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies DMHB 1, DMHB 2 and DMHB 4 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.06 Environmental Impact

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires that new developments achieve a high quality of design in all new buildings, alterations, extensions and the public realm which enhances the local distinctiveness of the area, contributes to community cohesion and a sense of place.

Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) requires all development to be designed to the highest standards and incorporate principles of good design, either complementing or improving the character and appearance of the area. Policy DMHB 12 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to protect and improve the public realm, including streets.

The change of use of the grassed area to an overflow car park would increase the built-up appearance of the site, out of keeping with the mainly residential area, thereby impacting on the character and appearance of the immediate street scene and the surrounding area. Therefore the proposal is considered contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies DMHB 11 and DMHB 12 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

7.08 Impact on neighbours

Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to protect residential amenity. Policy DMHB 4 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to protect Conservation Areas from inappropriate developments and to preserve or enhance those features which contribute to their special architectural and visual qualities, including existing landscaping.

Concerns have been received during the public consultation regarding the impact of the overflow car park on residential amenity. It is considered that the replacement of green space with hard surfacing could increase the built-up appearance of the site which would change the overall appearance of the surrounding residential area, particularly given the location within the Hillingdon Village Conservation Area. As such, the proposal is contrary to Policies DMHB 4 and DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

7.09 Living conditions for future occupiers

Not applicable to this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy DMT 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to ensure developments do not result in significant adverse transport impacts on the local and wider road network. Policy DMT 2 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to ensure that developments provide safe and efficient vehicular access to the highway network and do not contribute to the deterioration of local amenity or safety of all road users and residents. Policy DMT 6 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to ensure that developments provide acceptable levels of car parking in order to facilitate sustainable development and address issues relating to congestion and amenity.

Policy 6.3 of the London Plan (2016) requires assessment of the impact of development on transport capacity and the transport network whilst Policy 6.13 of the London Plan (2016) requires developments to provide appropriate parking provision.

The Council's Highways Engineer has assessed the proposal. The overflow car park is for the use of an 'airport chauffer service' affiliated with part of the existing E use class business enterprise which, before the Covid 19 pandemic, utilised a small part of the site with the need to store several vehicles on-site. The applicant seeks the retention of the overflow car park to store up to 15 'inactive' vehicles as business demand has reduced during the pandemic. The 15 additional parking spaces within the site which would add to the existing 31 parking spaces on the site, thereby resulting in 46 parking spaces within the site. Access to the overflow car park would be via the internal roadway within the site which is accessed from Vine Lane.

Prior to the Covid 19 pandemic traffic generation for the site was up to 63 two-way movements during the whole working day (7am to 7pm) with approximately 16 two-way trips during the 'traffic sensitive' am & pm peak traffic periods. The majority of cars related to the 'airport chauffer service' were not stored on site due to being in use, although a small number were stored on site. Based on pre-pandemic assumptions, activity related to the proposal is projected to give rise to a marginal site traffic increase of approximate 70 two-way daily trips with approximately 16/17 two-way trips during the am & pm peak traffic periods respectively. The Council's Highways Engineer considers that the projected marginal uplift in activity does not raise any specific or measurable highway concerns in terms of traffic generation, and given the current Covid 19 pandemic and associated

increase in on-site parking demand, traffic generation has been reduced. It is also considered that post-pandemic the on-site parking demand associated with the business would be reduced and returned to pre-Covid minimum level of demand. As such, a condition requiring the temporary overflow car park to be removed and the land reinstated to its former appearance once the Covid 19 pandemic has concluded shall be added to any consent granted.

Therefore the Council's Highways Engineer considers that the proposal would not result in detrimental congestion or parking stress and would not cause any measurable highway safety concerns, thereby complying with Policies DMT 1, DMT 2 & DMT 6 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and Policies 6.3 and 6.13 of the London Plan (2016).

7.11 Urban design, access and security

See Section 7.03 of this report.

7.12 Disabled access

Not applicable to this application.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Policy DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) seeks to ensure that all new development retains or enhances existing landscaping, trees and natural features of merit, provides soft and hard landscaping that is appropriate to the character of the area and carry out tree surveys to determine the impact of development on existing trees and appropriate protection measures.

The Council's Trees/Landscape Officer has assessed the proposal. Given the application site is covered by TPO 78a and located within the Hillingdon Village Conservation Area, trees within the site and on adjoining land are protected. Whilst the use of a gravel filled grid is one of the more sympathetic surface treatments close to trees, no tree report or arboricultural impact assessment has been submitted as part of the application and so it is not possible to consider to what extent the proposed car park may damage the trees. Therefore, in the absence of a full tree assessment and arboricultural method statement to BS5837:2012, the proposal fails to safeguard trees protected by TPO 78a and the Hillingdon Village Conservation Area, and so is contrary to Policies DMHB 4 and DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

Issues relating to on and off site parking, traffic, access, residential amenity, impact on trees, and impact on the Grade II* Listed Building and Listed wall have been discussed elsewhere in this report. There is a current enforcement investigation regarding the use of the site and implementation of the overflow car park without planning permission. In

regards to public consultation, this was carried out in line with statutory requirements. Issues relating to loss of property/damage costs and access to private land are civil matters and are not material planning considerations. There are two application references as there is an associated Listed Building Consent application (ref: 12019/APP/2020/3616) alongside this application for planning permission.

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

There is a current planning enforcement investigation in regards to the overflow car park on the grassed area which has already been implemented without planning permission. and the use of the site as an 'airport chauffeur service.' The current planning application seeks to retain the overflow car park.

7.22 Other Issues

None

9. Observations of the Director of Finance

Not applicable

10. CONCLUSION

Planning permission is sought for the change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel).

The creation of the car parking area results in the loss of green space, leading to an increase in the built-up appearance of the site, along with potential to cause damage to a historic garden and a failure to appropriately safeguard and preserve the historic boundary wall. As such, the proposal would fail to preserve or enhance the character, appearance and setting of the Grade II* Listed Building and the surrounding Hillingdon Village Conservation Area, including the immediate street scene, and would impact on residential amenity, contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies DMHB 1, DMHB 2, DMHB 4, DMHB 11 and DMHB 12 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

The proposal has not provided a full tree assessment and arboricultural method statement to demonstrate that the proposal would be able to safeguard trees protected by TPO 78a and the Hillingdon Village Conservation Area and so the proposed development does not comply with Policies DMHB 4 and DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

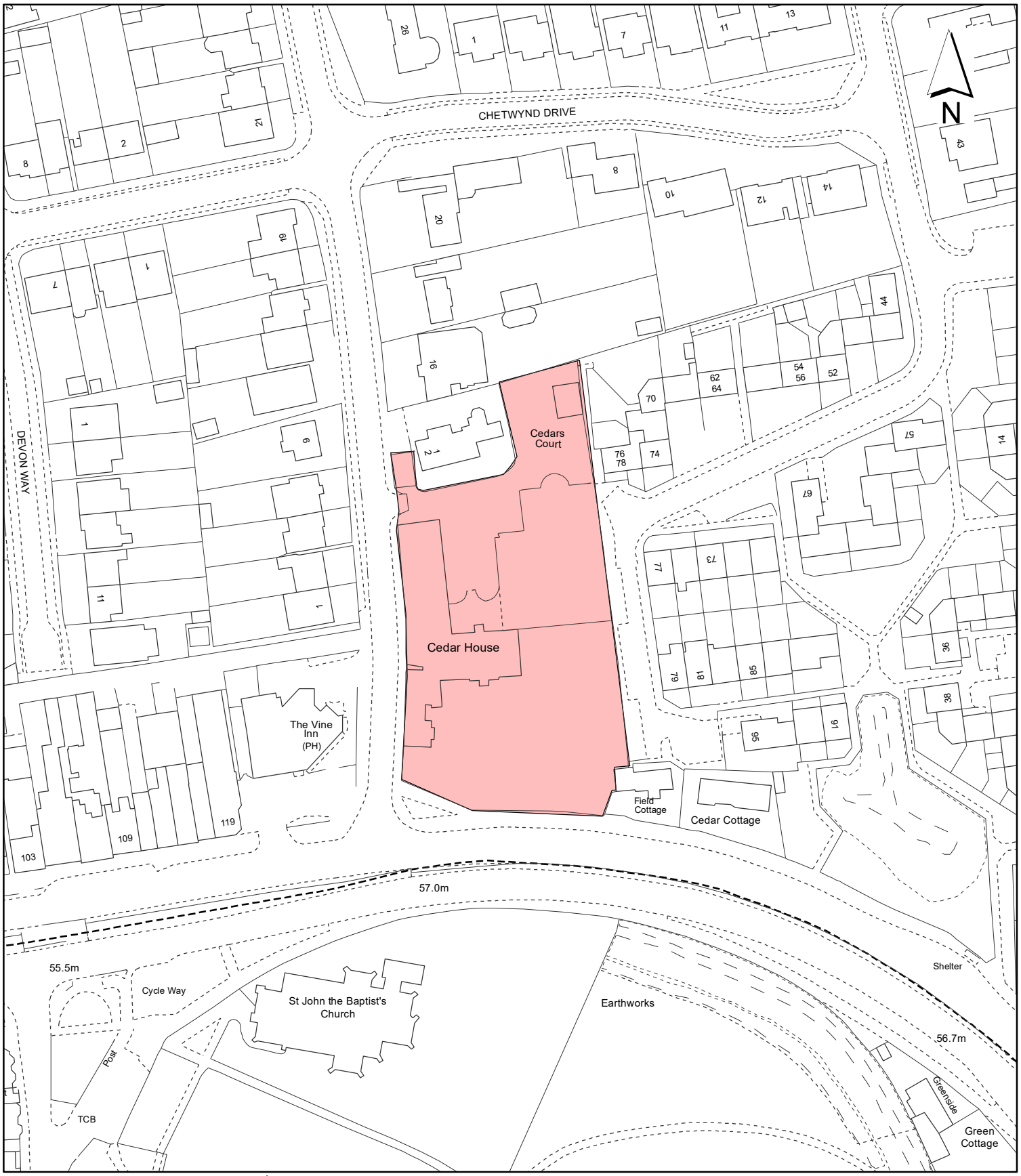
The proposal to use part of the site as an overflow car park is as result of the current Covid 19 pandemic following a reduction in use of cars associated with the 'airport chauffer service' and an increase in on-site parking demand as a result. Based on pre-pandemic assumptions, activity related to the 'airport chauffer service' is projected to give rise to a marginal increase in site traffic generation, thereby not resulting in detrimental congestion or parking stress or cause any measurable highway safety concerns. Post-pandemic the on-site parking demand associated with the business would be reduced and returned to pre-Covid minimum level of demand. Therefore the proposal complies with Policies DMT 1, DMT 2 & DMT 6 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and Policies 6.3 and 6.13 of the London Plan (2016).

The application is recommended for refusal.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)
London Plan (2016)

Contact Officer: Katherine Mills **Telephone No:** 01895 250230



Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

Cedar House
Vine Lane

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref: **12019/APP/2020/3615**

Scale: **1:1,250**

Planning Committee: **Central & South**

Date: **January 2021**

Report of the Head of Planning, Transportation and Regeneration

Address CEDAR HOUSE VINE LANE HILLINGDON

Development: Change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel) (Listed Building Consent)

LBH Ref Nos: 12019/APP/2020/3616

Drawing Nos: CH/P1/01
CH/P1/02
CH/P1/03
Design and Access Statement
Trip Generation Assessment October 2020

Date Plans Received: 30/10/2020 **Date(s) of Amendment(s):**

Date Application Valid: 30/10/2020

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposal, by virtue of the creation of a parking area resulting in the loss of green space, potential damage to a historic garden and failure to appropriately safeguard and preserve the historic boundary wall, fails to preserve or enhance the character, appearance and setting of the Grade II Listed Building and the surrounding Hillingdon Village Conservation Area. The proposal is therefore contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMHB 1, DMHB 2, DMHB 4, DMHB 11 and DMHB 12 of the Hillingdon Local Plan Part Two - Development Management Policies (January 2020), Policy 7.8 of the London Plan (2016) and the National Planning Policy Framework (2019).

2 NON2 **Non Standard reason for refusal**

In the absence of a Tree Survey and Arboricultural Implication Assessment to BS5837:2012 standards, the application has failed to demonstrate that the development will safeguard existing trees on and adjoining the site and further fails to demonstrate protection for and long-term retention of the trees. The proposal is therefore detrimental to the visual amenity of the street scene and the wider Hillingdon Village Conservation Area, contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policy DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and the National Planning Policy Framework (2019).

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to REFUSE Listed Building Consent has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair

hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to REFUSE Listed Building Consent has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMHB 1	Heritage Assets
DMHB 2	Listed Buildings
DMHB 4	Conservation Areas
DMHB 14	Trees and Landscaping
LPP 7.8	(2016) Heritage assets and archaeology
NPPF- 16	NPPF-16 2018 - Conserving & enhancing the historic environment

3. CONSIDERATIONS

3.3 Relevant Planning History

12019/AA/83/0294 Cedar House Vine Lane Hillingdon

Listed building consent to develop/alter (P) (Buckingham Grove).

Decision: 31-05-1983 Approved

12019/AB/83/0409 Cedar House Vine Lane Hillingdon

Householder development (small extension, garage etc.)(P)(Buckingham Grove).

Decision: 31-05-1983 Approved

12019/AC/83/0907 Cedar House Vine Lane Hillingdon

Details in compliance with 12019Z/83/0293 (Buckingham Grove)

Decision: 21-07-1983 Approved

12019/AD/84/0450 Cedar House Vine Lane Hillingdon

Listed building consent to develop/alter (P) (Buckingham Grove)

Decision: 22-05-1984 Approved

12019/AE/84/0798 Cedar House Vine Lane Hillingdon

Change of use from two flats to one dwelling (Cedar Court)

Decision: 21-06-1984 Approved

12019/AF/88/0527 Cedar House Vine Lane Hillingdon

Tree surgery to T63, T68, T69 and G32 on TPO 78A

Decision: 15-04-1988 Approved

12019/AH/90/0087 Cedar House Vine Lane Hillingdon

Erection of a two storey annexe with ancillary car parking

Decision: 30-08-1990 Withdrawn

12019/AJ/90/0088 Cedar House Vine Lane Hillingdon

Erection of a two storey annexe (Application for Listed Building Consent)

Decision: 05-06-1991 Withdrawn

12019/AK/90/3531 Cedar House Vine Lane Hillingdon

Retention of a 'V' shaped sign board

Decision: 21-06-1990 Refused

12019/AN/91/3574 Cedar House Vine Lane Hillingdon

Installation of externally illuminated free-standing advert sign

Decision: 29-07-1991 Refused

12019/AP/91/0937 Cedar House Vine Lane Hillingdon

Installation of externally illuminated free standing advert sign (Application for Listed Building Consent)

Decision: 15-10-1991 Refused

12019/APP/1999/2498 Cedar House Vine Lane Hillingdon

CHANGE OF USE OF ANCILLARY STORE TO SELF-CONTAINED OFFICE, TOGETHER WIT ASSOCIATED EXTERNAL ALTERATION WORKS, HARD AND SOFT LANDSCAPING AND PROVISION OF 2 CAR PARKING SPACES

Decision: 12-07-2000 Approved

12019/APP/1999/2499 Cedar House Vine Lane Hillingdon

EXTERNAL ALTERATIONS INVOLVING DOOR AND WINDOW OPENINGS AND ASSOCIATE HARD AND SOFT LANDSCAPING TO ALLOW CONVERSION OF ANCILLARY STORE TO SELF-CONTAINED OFFICE ACCOMMODATION AND INTERNAL ALTERATIONS (APPLICAT FOR LISTED BUILDING CONSENT)

Decision: 12-07-2000 Approved

12019/APP/2001/1629 Cedar House Vine Lane Hillingdon

INTERNAL ALTERATIONS TO RECEPTION AREA (APPLICATION FOR LISTED BUILDING CONSENT)

Decision: 14-09-2001 Approved

12019/APP/2006/2544 Cedar House Vine Lane Hillingdon

CHANGE OF USE OF AN EXISTING ANCILLARY STORE TO SELF-CONTAINED OFFICE TOGETHER WITH ASSOCIATED EXTERNAL ALTERATION WORKS WITH PROVISION OF ONE CAR PARKING SPACE

Decision: 31-01-2012 NFA

12019/APP/2020/3615 Cedar House Vine Lane Hillingdon

Change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel)

Decision:

12019/AW/95/1152 Cedar House Vine Lane Hillingdon

Tree surgery to T62 (Norway Maple) on TPO 78A, to reduce the height of the tree by 15ft to the secondary crown

Decision: 24-08-1995 Approved

12019/BA/97/1968 Cedar House Vine Lane Hillingdon

Change of use from Class B1 (Offices) to Class D1 (Educational Language School)

Decision: 05-08-1998 Approved

12019/BC/99/0813 Cedar House Vine Lane Hillingdon

Alterations to north/south elevations of an existing ancillary storage building including installatior of a dormer to enable conversion to office accommodation together with alterations to car parkir and landscaping

Decision: 24-09-1999 Refused **Appeal:** 18-05-2000 Dismissed

12019/BD/99/0815 Cedar House Vine Lane Hillingdon

Alterations to north/south elevations of an existing ancillary storage building including installatior of a dormer to enable conversion to office accommodation together with alterations to car parkir and landscaping (Application for Listed Building Consent)

Decision: 24-09-1999 Refused **Appeal:** 18-05-2000 Dismissed

12019/BE/99/1798 Cedar House Vine Lane Hillingdon

To fell one Weeping Willow (T65) and tree surgery to one Purple-leafed Plum (T64), one Ash tre

(T68), one Mulberry tree (T67) and three Horse Chestnut trees in group G32 on TPO 78A

Decision: 01-10-1999 Approved

12019/BF/99/1839 Cedar House Vine Lane Hillingdon

Tree surgery to one Indian Bean Tree (T69) on TPO 78A

Decision: 01-10-1999 Approved

12019/K/76/0237 Cedar House Vine Lane Hillingdon

Residential development - 70 units (Full)(P)(Relates to Buckingham Grove, Cedars Drive)

Decision: 06-04-1976 Approved

12019/L/76/1072 Cedar House Vine Lane Hillingdon

Details in compliance with 12019K/76/0237 (Relates to Buckingham Grove, Cedars Drive)

Decision: 17-09-1976 Approved

12019/M/76/1473 Cedar House Vine Lane Hillingdon

Details in compliance with 12019K/76/0237 (Relates to Buckingham Grove, Cedars Drive)

Decision: 09-12-1976 Approved

12019/N/76/1546 Cedar House Vine Lane Hillingdon

Details in compliance with 12019K/76/0237 (Relates to Buckingham Grove, Cedars Drive)

Decision: 23-12-1976 Approved

12019/Q/77/1196 Cedar House Vine Lane Hillingdon

Details in compliance with 12019K/76/0237 (Relates to Buckingham Grove, Cedars Drive)

Decision: 20-10-1977 Approved

12019/R/78/1877 Cedar House Vine Lane Hillingdon

Change of use from residential to office use (Cedar Court)

Decision: 19-03-1979 Refused

12019/S/79/2237 Cedar House Vine Lane Hillingdon

Details in compliance with condition 5 of 12019K/ 76/0237 (Buckingham Grove)

Decision: 07-03-1980 ADH

12019/T/80/1612 Cedar House Vine Lane Hillingdon

Two-storey extension (Application for Listed Building Consent (Cedar House)

Decision: 23-06-1981 Approved

12019/TRE/2015/160 Land At Buckingham Grove Hillingdon

To re-pollard two Poplars; and to carry out tree surgery, including a crown reduction to six Limes one Purple-leafed Plum, one Ash and two Wild Cherry's; a crown lift to three Field Maples and one Norway Maple; and the cutting back of branches to one Atlas Cedar on TPO 78a

Decision: 23-10-2015 Approved

12019/Y/82/1620 Cedar House Vine Lane Hillingdon

Tree surgery to T62, T65, T67, T68, T69 & 3 Horse Chesnut trees on TPO 78A (Buckingham Grove)

Decision: 18-01-1983 Approved

12019/Z/83/0293 Cedar House Vine Lane Hillingdon

Erection of a two-storey office block extension (also relaxation) - (Buckingham Grove)

Decision: 27-05-1983 Approved

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.HE1 (2012) Heritage

Part 2 Policies:

DMHB 1 Heritage Assets
DMHB 2 Listed Buildings
DMHB 4 Conservation Areas
DMHB 14 Trees and Landscaping
LPP 7.8 (2016) Heritage assets and archaeology
NPPF- 16 NPPF-16 2018 - Conserving & enhancing the historic environment

5. Advertisement and Site Notice

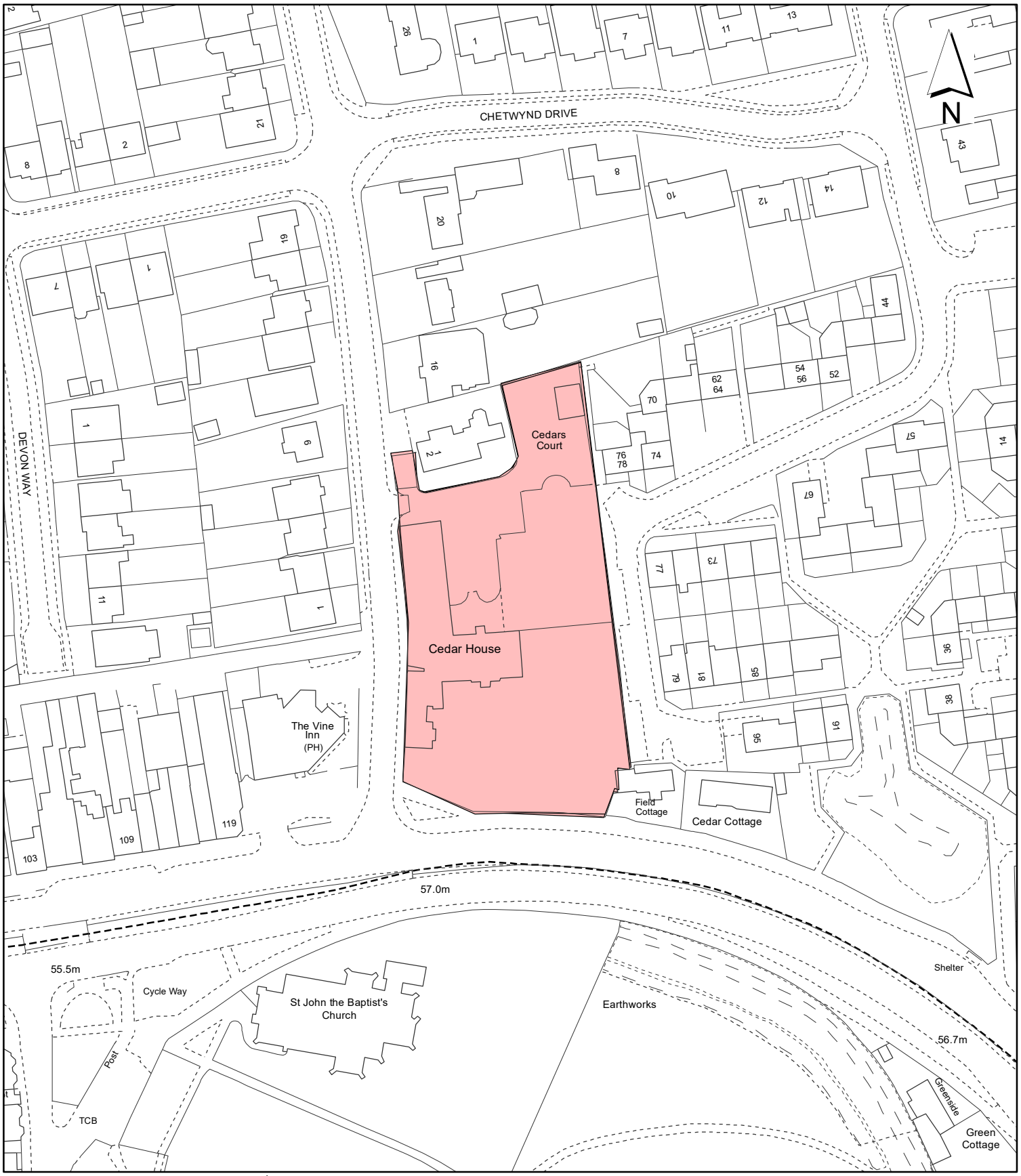
5.1 Advertisement Expiry Date:- **16th December 2020**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

7. MAIN PLANNING ISSUES

Contact Officer: Katherine Mills **Telephone No:** 01895 250230



Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

Cedar House
Vine Lane

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
12019/APP/2020/3616

Scale:
1:1,250

Planning Committee:
Central & South

Date:
January 2021

HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

S.106/278 PLANNING AGREEMENTS - QUARTERLY FINANCIAL MONITORING REPORT

SUMMARY

This report provides financial information on s106 and s278 agreements in the Central and South Planning Committee area up to 30 September 2020 where the Council has received and holds funds.

RECOMMENDATION

That Members note the contents of this report.

INFORMATION

1. Paragraph 24 of the Government's Planning Practice Guidance, encourages local planning authorities to make publically available information with regard to what planning obligation contributions are received by the Council and how these contributions are used. This ensures transparency and is therefore considered to be good practice. Details of the financial obligations held by the Council are reported to Cabinet on a quarterly basis through the "Planning Obligations Financial Monitoring Report". The report informs members and the public of the progress being made in the allocation of financial obligations and their implementation.

2. The information contained in this report was reported to Cabinet on 10th December 2020 and updates the information received by Cabinet in September 2020. The attached Appendix 1 provides updated financial information on s106 and s278 agreements in the Central and South Planning Committee area up to 30 September 2020, where the Council has received and holds funds.

3. Appendix 1 shows the movement of income and expenditure taking place during the financial year. The agreements are listed under Cabinet portfolio headings. Text that is highlighted in bold indicates key changes since the previous report of 5th November 2020 to the Planning Committee. Figures shown in bold under the column headed ‘Total income as at 30/09/20’ indicate new income received. Agreements asterisked under the column headed ‘case ref’ are those where the Council holds funds but is unable to spend them for a number of reasons. These include cases where the funds are held as a returnable security deposit for works to be undertaken by the developer and those where the expenditure is dependant on other bodies such as transport operators. In cases where schemes have been completed and residual balances refunded, the refund

amount is either the amount listed in the “Balance of Funds” column or where the amount listed in this column is zero the difference between the amounts listed in the columns titled “Total Income as at 30/06/20” and “Total Income as at 30/09/20”.

4. Members should note that in the Appendix, the ‘balances of funds’ held include funds that may already be committed for projects such as affordable housing and school expansion projects. Expenditure must be in accordance with the legal parameters of the individual agreements and must also serve a planning purpose and operate in accordance with legislation and Government guidance in the form of the National Planning Policy Framework (July 2018). The Council has adopted Supplementary Planning Guidance for Planning Obligations that provides the framework in which the Council will operate.

5. Members should also note that the listed “balances of funds”, i.e. the difference between income received and expenditure, is not a surplus. The majority of the funds are linked to projects that are already underway or programmed but have not been drawn down against the relevant s106 (or s.278) cost centre. The column labelled “balance spendable not allocated” shows the residual balance of funds after taking into account funds that the Council is unable to spend and those that it has committed to projects.

Financial implications

6. This report provides information on the financial status on s106 and s278 agreements up to 30 September 2020. The recommendation to note has no financial implications.

CORPORATE CONSULTATIONS CARRIED OUT

Legal

It is a requirement of the District Audit report into planning obligations and the Monitoring Officers report that regular financial statements are prepared.

EXTERNAL CONSULTATIONS CARRIED OUT

There are no external consultations required on the contents of this report.

BACKGROUND DOCUMENTS

District Auditor’s “The Management of Planning Obligations” Action Plan May 1999
Monitoring Officers Report January 2001
Planning Obligations Supplementary Planning Document Adopted July 2008 and revised 2014.
Cabinet Report December 2020.

Contact Officer: Nikki Wyatt Telephone No: 01895 - 558145

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
		SECTION 278								
PORTFOLIO: PLANNING TRANSPORTATION										
PT278/30/115 *22	Heathrow Villages	Terminal 5, Land at Longford Roundabout, Heathrow s278 10 Jan 02 47853/93/246	10,500.00	10,500.00	5,500.00	5,500.00	0.00	5,000.00	0.00	Fees & security (£5,000) associated with Highway Works to be undertaken by developer. Works consisted of temporary access works from Longford Roundabout to Western Perimeter Road. Access installed & will be removed following completion of Terminal 5. Security to be retained pending outcome of BAA proposals to make this access two-way and permanent for buses and emergency services vehicles as well as cyclists. Two way access implemented. Officers investigating whether all required works have been completed. Works completed, security to be refunded after maintenance period. £5,000 fees claimed by ECU.
PT278/34/86A *18	Brunel	Brunel site3 532/SPP/2001/1858 - Highways Works at Junction Hillingdon Hill / Kingston Lane & Pelican Crossing on Kingston Lane	392,358.87	392,358.87	197,448.22	197,448.22	0.00	194,910.65	0.00	Highway Works - £150k refundable security, £124,637.12 received for highway works at junction of Hillingdon Hill and Kingston Lane, £65,271.32 · received for Kingston Lane Pedestrian Crossing, £20,500 supervision fees. If the supervision fee following final completion exceeds 10% of the costs of the works plus statutory undertakers costs and TTS payment then the excess is to be refunded. Works complete and signals switched on. Officers continue to chase Brunel to perform remedial works to grass verges and are investigating options for the use of some of the security for the Council to perform the remedial works if necessary. Final certificate sent 30/4/09.
PT278/44/87A *20	Brunel	Brunel s278 16 April 04 532/SPP/2002/2237 - Traffic Calming on Cleveland Road & New Entrance on Kingston Lane	102,018.78	102,018.78	81,080.74	81,080.74	0.00	20,938.04	0.00	Traffic Calming on Cleveland Road & roundabout on Kingston Lane. £30,900 spent on engineering fees. £150k Refundable security deposit. £3,200 for Traffic DC project management costs. £58,962.38 TTS estimate for Pedestrian Crossing on Cleveland Road. Further payments received following receipt of estimate of works to cover security/costs. £10,000 received for improvements to a footpath on the site to be retained a security for Brunel to implement the works and to be transferred to PT84/87B-D. Traffic Calming on Cleveland Road (including new signalised crossing) & roundabout on Kingston Lane at new entrance to Brunel University now complete. TfL invoice paid. Residual on TfL payment due to VAT not claimed - funds to be held on as contingency for extra TfL costs. Interest Accrued. Remedial work completed and signed off in December 2007.
PT278/49/117 *23	Yeading	Grand Union Village Southall 327/APP/2000/2106	77,331.55	77,331.55	55,222.89	55,222.89	0.00	22,108.66	0.00	Security deposit (£5K + interest) for highways works involving traffic calming to the junction with Glencoe Rd and a cycleway/footway on Broadmead Rd to Hayes Bypass. £52,363.10 for TfL costs for Broadmead Road Toucan Crossing proposed as part of works. Additional income is £1K of engineering fees. Detailed plans of works and design agreed. Consultation undertaken during February 2007 for traffic calming and toucan crossing. Officers chasing TfL for implementation. Following consultation Cabinet Member agreed to works to be carried out. Works completed Aug 09. Further £11,447 received for LBH fees. £43,775.89 paid towards TfL signal costs.
PT278/57/140 A	Pinkwell	MOD Records Office Stockley Road Hayes 18399/APP/2004/2284	419,128.68	419,128.68	325,719.61	325,719.61	0.00	93,409.07	0.00	£188,737.70 (including £170,027.34 for Transport For London signals unit) for installation of two sets of traffic signals, one at the entrance to the site the other at Lavender Rise on Stockley Road and £190,686.91 received in respect of the Council's costs for supervision of the works (to be carried out by the owner). Works complete. Stage 3 road safety audit now agreed await completion of remedial works. Remedial works completed. Additional item of works being sought by officers who are chasing the developer for this. Council's costs of £205,686.71 claimed, TTS invoice for signals at Lavender Rise paid. Funding for additional items of works (removal of right turn lane) and BT cabling received. Design work and public consultation completed. Removal of right turn lane completed Sept 09. Scheme in maintenance period awaiting financial completion

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT278/60/147B	West Drayon	DERA Site, Kingston Lane, West Drayton - Highways 45658/APP/2002/3012	56,816.26	56,816.26	0.00	0.00	0.00	56,816.26	0.00	£55,000 was received towards the total cost of highway works for the purchase and installation of traffic signals at Station Road/ Porters Way Junction and any such other incidental work as identified by the Council to support the development. Funds not spent by February 2014 are to be refunded together with interest accrued. These works to be performed by developer of RAF Porters Way (see PT278/62/148A). Funds to be retained as a contingency for these works.
PT278/62/149A *51	Botwell	Hayes Goods Yard 10057/APP/2004/2996&2999	7,000.00	7,000.00	0.00	0.00	0.00	7,000.00	0.00	The Council's costs due upon lodgement of documents by the developer for the design, administration and supervision of the works to the public highways surrounding the site to be performed by the developer. £5,000 received as a security deposit for the due and proper execution of the highways works by the developer.
PT/278/65/182 *52	Heathrow Villages	Longford Roundabout - Fifth Arm, 63369/APP/2007/2294	9,521.00	9,521.00	4,521.00	4,521.00	0.00	5,000.00	0.00	Remaining balance is a security deposit for developer implementation of bus only access to Terminal 5 Heathrow. Spend on supervision costs.Works complete, security to be refunded following maintenance period.
PT/278/74/209C	Yiewsley	Proposed Tesco development, Trout Road, Yiewsley 609/APP/2007/3744	120,300.26	120,300.26	117,300.26	117,300.26	0.00	3,000.00	0.00	Fees received for design checks for proposed junctionworks and carriageway widening at Trout Road. S278 agreement and technical approval pending. Further fees received & claimed for inspection works.
PT/278/76/198A *60	Uxbridge	Former Gas Works site (Kier Park), Cowley Mill Road, Uxbridge 3114/APP/2008/2497	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	Funds received as a security deposit for due and proper execution of highways improvements.S278 agreement.
PT/278/81/249E *84	Townfield	Fmr Glenister Hall, 119 Minet Drive, Hayes. 40169/APP/2011/243	6,000.00	6,000.00	2,000.00	2,000.00	0.00	4,000.00	0.00	Fees received for design checks and monitoring and supervision. £4,000 received as a security deposit to ensure highway works are carried out to a satisfactory standard. Fees claimed for design checks & monitoring.
PT/278/82/273A *87	Uxbridge South	Autoguild House (Lidl), 121 Cowley Rd, Uxbridge. 7008/APP/2010/2758	99,115.00	99,115.00	27,115.00	27,115.00	0.00	72,000.00	0.00	Fees received and claimed for design checks & monitoring of s278 works. £91,195 received towards upgrading of traffic lights at junction of Cowley Mill Road. £72,000 received as a security deposit to ensure highways works are carried out to a satisfactory standard. £5,920 received & claimed for design checks. £19,195 allocated towards the installation of SCOOT signal system at junction of Cowley Mill Road & Cowley Road (Cabinet Member Decision 03/06/2019). Scheme complete.
PT/278/83/283A *90	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge 585/APP/2009/2752	253,636.00	253,636.00	222,136.00	222,136.00	0.00	31,500.00	0.00	£40,000 received and claimed for design checks& monitoring of 278 highway works. £31,500 received as a security deposit to ensure highway works are carried out to a satisfactory standard, £94,596 received and claimed by ECU towards fees associated with s278 agreement. Further £15,000 received and claimed towards design fees. £21,540 engineering fees claimed. £50k received and claimed for design checks for St Andrews roundabout.
PT/278/85 *93	Yiewsley	GSK Stockley Park, 5 Iron Bridge Road. 3057/APP/2012/2573	6,210.00	6,210.00	1,210.00	1,210.00	0.00	5,000.00	0.00	Fees received and claimed for design checks. £5,000 received as a security deposit to ensure highway works are carried out to an acceptable standard.
PT/278/90/418D	Botwell	20-30 Blyth Road, Hayes 1425/APP/2011/3040	5,550.00	5,550.00	550.00	550.00	0.00	5,000.00	0.00	Fees received and claimed for design checks. £5,000 received as a security deposit to ensure highway works are carried out to an acceptable standard.
PT/278/103/370 A *118	Uxbridge	Belmont House (formerly Senator Court), Belmont Road, Uxbridge. 68385/APP/2012/2398	56,171.39	56,171.39	4,936.53	4,936.53	0.00	51,234.86	0.00	Funds held as a returnable bond to ensure the satifactory completion of the highway works associated with the development. £4,936.53 fees claimed for design for design checks.
PT/278/107/355 E *132	Botwell	Former EMI site, Dawley Road (Prologis), Hayes. 8294/APP/2015/1406	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	£5,000 received as the highways deposit sum to ensure satifactory completion of the works. Any unspent funds to be returned to the developer on completion.
PT/278/108/378 C *133	Townfield	27 Uxbridge Rd,(Hayes Gate House) 2385/APP/2013/2523	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	£5,000 received as the highways deposit sum to ensure satifactory completion of the works. Any unspent funds to be returned to the developer on completion.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT/278/109/403 *144	Botwell	Former Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	135,000.00	135,000.00	0.00	0.00	0.00	135,000.00	0.00	£135,000 received as the highways deposit sum to ensure satifactory completion of the works. Any unspent funds to be returned to the developer on completion.
PT/278/116 /405 *150	Botwell	Mercury House, Plot 6 Millington Road, Hayes (Premier Inn) 22632/APP/2016/2369	16,044.73	16,044.73	4,500.00	4,500.00	0.00	11,544.73	0.00	£11,544.73 received as the highway security deposit sum to enusre satisfactory completion of the works. £4,500 received and claimed for fees and and design checks.
PT/278/124 *154	Yeading	S278, Garage site at Hornbeam Road, Hayes 70799/APP/2015/3696	7,500.00	7,500.00	6,500.00	6,500.00	0.00	1,000.00	0.00	£5,000 received as the highway security deposit sum to ensure satisfactory completion of the works. £2,500 received for fees and and design checks. £4,000 transferred to cover unpaid legal fees. £2,500 transferred to cover fees. Remaining balance to be returned to developer on satisfactory completion of highway works.
PT/278/125 *155	Yeading	S278, Garage site at Larch Crescent, Hayes 70799/APP/2015/3696	7,500.00	7,500.00	2,500.00	2,500.00	0.00	5,000.00	0.00	£5,000 received as the highway security deposit sum to ensure satisfactory completion of the works. £2,500 received for fees and and design checks. £2,500 transferred Q3 2018 to cover fees.
PT/278/126/390 F *162	West Drayton	S278 Fmr Anglers Retreat PH, Cricketfield Road, West Drayton	32,868.00	32,868.00	0.00	0.00	0.00	32,868.00	0.00	Funds received as a security deposit for due and proper execution of highways improvements.
PT/278/127/417 B * 163	West Drayton	Grand Union Office Park, Packet Boat Lane, West Drayton 1197/APP/2015/4164	34,386.33	34,386.33	0.00	0.00	0.00	34,386.33	0.00	£34,386.33 received as highway security deposit sum to ensure satisfactory completion of the works.
PT/278/135/432 D	Heathrow Villages	1 Nobel Drive, Harlington, Hayes 46214/APP/2014/2827	37,765.69	37,765.69	0.00	0.00	0.00	37,765.69	0.00	£37,765.69 received as highway security deposit sum to ensure satisfactory completion of the works.
		SECTION 278 SUB - TOTAL	**1,907,722.54**	**1,907,722.54**	**1,058,240.25**	**1,058,240.25**	**0.00**	**849,482.29**	**0.00**	
		SECTION 106								
PORTFOLIO: PLANNING TRANSPORTATION AND RECYCLING										
PT/05/04a *2	Heathrow Villages	BA World Cargo / 50045A/95/1043	339,111.08	339,111.08	212,469.24	212,469.24	0.00	126,641.84	0.00	The balance is for improvements to public transport serving the south side of London Heathrow. Any scheme should provide a significant benefit to BA employees in the vicinity of Heathrow . No time limits. BAA proposal for upgrade of bus services to the south side of Heathrow. £210,000 allocated to enhancements to 350 and 423 bus services (Cabinet Member decision 21/10/09). Enhanced services commenced December 09. £70,084 payment to London Buses (bus service agreement 09/10). Year 2 & 3 payments to London buses (£70.084). £23.5k allocated towards a pedestrian crossing facility on the A4 Colnbrook By- Pass (Cabinet Member Decision (29/03/2012). £2,217 paid towards upgrade of crossing facility on A4. Remaining balance £126,641 allocated to support new 278 bus route (Cabinet Member Decision 05/02/2020)
PT/05/04b *2	Heathrow Villages	BA World Cargo / 50045A/95/1043	406,331.57	406,331.57	173,645.35	173,645.35	0.00	232,686.22	0.00	The balance is for improvements to public transport serving London Heathrow. Any scheme supported by these funds should provide a significant benefit to BA employees in the vicinity of Heathrow and the views of the Heathrow Transport Forum are to be sought in determining any scheme to be funded. No time limits. Remaining balance £232,686 allocated to support new 278 bus route (Cabinet Member Decision 05/02/2020)

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT/37/40B-C (see: PPR/29)	Botwell	Land at Thorn EMI Complex - Highways Works & Environmental Improvements 51588/APP/2000/366&1418 (Old Vinyl Factory 5987/APP/2012/1893)	559,443.43	559,443.43	483,904.27	483,904.27	0.00	75,539.16	0.00	Project 40B- New agreement signed 19/04/13. Funds to be used towards public realm improvements in the vicinity of the site and Hayes Town Centre (see agreement for further details). No time limit for spend. £838.48 (remaining balance from PT/37/40F) transferred to PT/278/47. £12,500 allocated towards lighting scheme in Blyth Road. £100,000 allocated towards Hayes Town Centre Improvements (Cabinet Member Decision 19/06/2015). Remaining balance (£74,928) allocated towards public realm improvements in Blyth Road area (Cabinet Member Decision 28/08/2017). £100,000 spent towards Hayes Town Centre Scheme, end of year closing 2017/18. £5,000 spent towards Blyth Road lighting scheme Q4 2018/19 (scheme complete).
PT37/40E	Botwell	Land at Thorn EMI Complex - Parking 51588/APP/2000/366&1418 (Old Vinyl Factory 5987/APP/2012/1838)	32,805.42	32,805.42	0.00	0.00	0.00	32,805.42	0.00	Project 40E - £30,000 received for controlled parking in Blyth Road area. New agreement signed 19/04/13. Funds held to be used towards controlled parking zones in the vicintiy of the development or if not required, towards the same purpose as PT/37/40B above. Allocated towards public realm improvements in Blyth Road area (Cabinet Member Decision 28/08/2017). No time limit for spend.
PT/42/41	Heathrow Villages	Temp Stockpiling at Bedfont Court. 47853/SPP/2003/113	50,000.00	50,000.00	0.00	0.00	0.00	50,000.00	0.00	£50,000 for landscape enhancement on specified land around the development. Unexpended funds at 19 June 2006 were to be repaid to the developer. Following consultations with BAA it has been agreed to spend the funds as part of the Colne Valley project. Deed of variation has been secured to remove time limits.
PT/54/21C	Botwell	Former EMI Site, Dawley Road - Landscaping 6198/BS/98/1343	57,000.00	57,000.00	0.00	0.00	0.00	57,000.00	0.00	£50,000 for Landscaping on adjacent land and £7,000 for maintenance of the landscaping works. Funds to be held for landscaping in accordance with the agreement subject to Crossrail. No time constraints.
PT/61/89B (see: E/35)	West Drayton	LHR Training Centre, Stockley Close / 51458/97/1537	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	0.00	£25,000 for improvements at the junction of Stockley Road & Stockley Close / Lavender Rise, West Drayton. Scheme provided using TfL funding. Further improvements to area have been implemented as part of the MOD development. Funds to be held as contingency for any works required to the junction arising out of the MOD development. No time constraints.
PT/65/74A (see EYL/40, E/20 & E/21)	Uxbridge North	Land at Johnson's Yard (former garage site), Redford Way, Uxbridge - Street Lighting 53936/APP/2002/1357	18,893.88	18,893.88	17,871.38	17,871.38	0.00	1,022.50	0.00	Street lighting according to the agreement drawing. No time constraints. Expenditure due to commencement of project for street lighting on Redford Way at Johnson's Yard. Columns & lanterns installed and working. Unable to install column in footpath leading to the high Street. Last column installed, Connection by Southern Electric were programmed for July 07. Columns all connected but require painting. Officers chasing painting contractor to progress. Painting completed - final invoices paid. Final balance to be confirmed after closure of 08/09 financial year accounts.
PT/80/112 (formerly PT278/05)	Uxbridge South	Grand Union Park, Packet Boat Lane, site ref: 1197 (various applications)	47,774.85	47,774.85	2,228.56	2,228.56	0.00	45,546.29	0.00	No time constraints. Officers looking into project for spend of balance at junction of Packet Boat Lane & Cowley High Street. Cabinet Member for P&T concerned with affect of proposal and blind road bend heading towards Uxbridge. Funds to be held until sight lines are resolved.
PT/82/114 (formerly PT278/23)	Uxbridge South	Waterloo Road, Uxbridge - Highway Works / 332BD/99/2069	13,169.44	13,169.44	11,577.00	11,577.00	0.00	1,592.44	0.00	Highway Works for alternative traffic management on Waterloo Road. No time limits. Cabinet Member for Planning & Transportation has approved use of funds to extend the Uxbridge South Parking Management Scheme approved. Implementation occurred in the Autumn. £11k spend on Waterloo Road from the Parking Revenue Account to be recharged to this case for next quarter. Recharcharge completed.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT84/87B-D (Formerly part of PT278/44)	Brunel	Brunel s106 16 April 04 532/SPP/2002/2237	27,614.47	27,614.47	15,164.48	15,164.48	0.00	12,449.99	0.00	£3,000 + interest for monitoring of landscape management plan (87B), £10,000 + interest for monitoring of green travel and public transport obligations (87D), and £200 + interest initial payment associated with footpath works to be undertaken by Council (87C). Engineers inspected site to ascertain whether works are required & whether further payments are due late Jan 2006. Officers chasing Brunel to provide a disabled ramp from the back of the privately owned footway at Hillingdon Hill. Interest accrued. £10k plus interest received for improvements (including lighting) to the footpath alongside the River Pinn linking 'Site 2' to Uxbridge Road. Footpath works complete, security deposit plus interest returned.
PT/88/140F *46	Pinkwell	MOD Records Office, Stockley Road, Hayes - Parking 18399/APP/2004/2284	74,089.77	74,089.77	64,089.77	64,089.77	0.00	10,000.00	10,000.00	Funds received for parking management system in Bourne Avenue and surrounding streets of the new and existing estate roads. There are currently no plans to consult with residents of the area on a Parking Management Scheme. However, any resident objections to increases in commuter parking on residential roads generated by the development may give reason to spend these funds. Officers continue to monitor the parking situation. Funds must be spent within 7 years following date of receipt i.e. Dec 2013. No parking scheme has been requested and time limit has now passed. Officers in contact with developer. Contribution required to be returned. Funds returned to developer as agreed towards a transport study on Stockley Road, to assess the traffic impact of their developments. £10,000 retained, earmarked towards lighting improvements in Bourne Avenue, subject to formal allocation.
PT/102/161D	Yiewsley	Honeywell Site, Trout Road Yiewsley 335/APP/2002/2754	77,151.50	77,151.50	68,448.16	68,448.16	0.00	8,703.34	0.00	Funds received towards public transport and community facilities initiatives in the West Drayton area. Funds to be spent by September 2014 . Funds allocated towards public transport intitiatives in the West Drayton area to include bus stop accessibility and enhancement of the pedestrian link along Tavistock Road to West Drayton Station and bus interchange (Cabinet Member Decision 22/04/2014). Scheme completed September 2014, £10,000 can be retained towards other schemes related to the development. Remaining balance allocated towards West Drayton Station Complimentary measures (Cabinet Member Decision 13/03/2018).
PT/104/147H	West Drayton	DERA Site, Kingston Lane, West Drayton 45658/APP/2002/3012	10,000.00	10,000.00	0.00	0.00	0.00	10,000.00	0.00	Funds received for the installation and maintenance of CCTV cameras on the site as specified in the relevant planning permission. Cameras to be installed by the developer. Funds to be retained as security. No time constraints.
PT/110/198B *61	Uxbridge	Former Gas Works Site (Kier Park) at Cowley Mill Road, Uxbridge - Bond 3114/APP/2008/2497	14,240.00	14,240.00	0.00	0.00	0.00	14,240.00	0.00	Travel Plan Bond received to ensure compliance by the owner for monitoring and reporting in accordance with the travel plan. To be refunded after 10 years.
PT/115/209B	Yiewsley	Tesco, Trout Road, Yiewsley. 60929/APP/2007/3744	4,750.00	4,750.00	4,750.00	4,750.00	0.00	0.00	0.00	Contribution received for the purpose of the purpose of setting up a car club. Funds to be spent within 5 years of receipt (March 2015). Allocated towards setting up Hertz car club in Trout Road (Cabinet Member Decision 7/02/2014). Approved scheme not viable. DOV signed 24/10/17. Funds to be used towards another sustainable transport project . Spend by March 2020. Funds allocated towards school air quality engagement and additional cycle parking facilities in Yiewsley Town Centre (Cabinet Member Decision 11/12/2018). Cycle parking implemented Feb 2019 (£1,500 spent Q4 2018/19). School air quality engagement delivered Oct 2019. Diminimus balance £100 transferred to PT/44

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT/125/242C	West Drayton	Drayton Garden Village (fmr NATS site), Porters Way, West Drayton. 5107/APP/2009/2348	457,092.63	457,092.63	**375,000.00**	250,000.00	**125,000.00**	**82,092.63**	82,092.63	£210,000 received as the phase 2 & 3 payments towards improvements and additions to TfL bus services within vicinity of the development (see legal agreement for further details). No time limits for spend. £159,910.54 received as the Phase 4 payment. £87,182 received this quarter as the final payment. £375,000 allocated towards improvements to the the U5 bus services (Cabinet Member Decision 14/09/2017). Payment to TFL for first year of bus service operation 17/18 (£125,000). Year 2 payment to TFL 18/19 (£125,000). **Year 3 payment to TFL 19/20 (£125,000).**
PT/126/242D *82	West Drayton	Drayton Garden Village (fmr NATS site), Porters Way, West Drayton. 5107/APP/2009/2348	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Travel plan bond received to ensure compliance by the owner of its monitoring and reporting obligations. To be refunded after 10 years.
PT/129/277A	Heathrow Villages	The Portal, Scylla Rd, Heathrow Airport. 50270/APP/2011/1422	20,579.41	20,579.41	0.00	0.00	0.00	20,579.41	0.00	Funds received towards co-ordinating and monitoring the green travel plan associated with the site. No time limits for spend.
PT/131/273B	Uxbridge South	Autoguild House (Lidl), 121 Cowley Rd, Uxbridge. 7008/APP/2010/2758	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	Funds received as the Travel Plan bond to be used by the Council to cover the Council's expenses in monitoring compliance by the owner with the travel Plan for a ten year period. Balance to be refunded after 10 years (2022).
PT/132/149J *88	Botwell	Hayes Goods Yard (High Point) 10057/APP/2005/2996 & 2999	15,000.00	15,000.00	0.00	0.00	0.00	15,000.00	0.00	Travel Plan bond received to ensure the completion by the owner of 3 travel surveys. £5,000 to be returned on completion of each survey.
PT/136/297A	Heathrow Villages	Fmr Technicolor Site, 276 Bath Rd, Sipson, West Drayton. 35293/APP/2009/1938	34,541.66	34,541.66	845.00	845.00	0.00	33,696.66	0.00	Contribution received towards the cost of upgrading the bus stops and the installation of drop kerbing/ tactile paving to enable pedestian access over Bath Road in the vicinity of the site. Funds to be spent within 7 years of receipt (May 2020). Funds allocated towards bus stop improvements on the Bath Road (Cabinet Member Decision 05/02/2020). Bus stops have been upgraded to London Land Mark Standard. Funds to be transferred to TFL.
PT/138/300B *102	Townfield	Fmr Powergen Site, North Hyde Gardens, Hayes 13226/APP/2012/2185	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Contribution received to be used by TfL to carry out required improvement works to the junction at The Parkway and Bulls Bridge Roundabout. No time limits
PT/139/300C	Townfield	Fmr Powergen Site, North Hyde Gardens, Hayes 13226/APP/2012/2185	15,000.00	15,000.00	0.00	0.00	0.00	15,000.00	15,000.00	Contribution received towards improvements to the grand Union Canal frontage within the vicinity of Bulls Bridge. No time limits.
PT/140/315A	Pinkwell	Asda Unit 4 Westlands Estate, Millington Road, Hayes 32157/APP/2011/872	458,800.00	458,800.00	178,009.47	178,009.47	106,043.01	280,790.53	0.00	Contribution to be used towards (but not limited to) the provision of footway and public realm improvements between the land and Hayes Town Centre. No time limits for spend. Funds allocated towards works to improve the link between the Asda store & Hayes Town Centre (Cabinet Member Decision 24/08/2017). Scheme currently on site.
PT/144/198H	Uxbridge South	Former Gas Works site (Kier Park) Cowley Mill Road, Uxbridge 3114/APP/2012/2881	40,635.00	40,635.00	16,803.97	16,803.97	0.00	23,831.03	0.00	Funds received as the "reduced public transport contribution" to be applied towards the hopper bus service or other public transport links relating to the site (see legal agreemnt). Funds to be spent within 7 years of receipt (May 2021). Funds allocated towards footway improvements on Cowley Mill Road to improve pedestrian access to bus stops (Cabinet Member Decision 02/06/2017). Scheme completed. Final invoice received Q4 18/19. **Remaining balance (£23,831) reallocated towards towpath improvements between Cowley Mill Road & Rockingham Road (Cabinet Member Decision 08/10/2020). Scheme on site.**
PT/145/198J	Uxbridge South	Former Gas Works Site (Kier Park) at Cowley Mill Road, Uxbridge 3114/APP/2008/2497	20,317.00	20,317.00	0.00	0.00	0.00	20,317.00	**0.00**	Contribution receivd towards the provision or improvement of cycling in the vicinity of the site in accordance with the Council's adopted cycleway strategy. Funds to be spent within 7 years of receipt (May 2021). **Funds allocated towards towpath improvements between Cowley Mill Road & Rockingham Road (Cabinet Member Decision 08/10/2020). Scheme on site.**
PT/149/325C *161	West Drayton	Stockley Close Units 1623 & 1685 51458/APP/2013/2973	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan contribution. For use by the Council to complete any remedial measures to ensure compliance by the owner with the travel plan. Unused funds to be returned at the end of the monitoring period (10 years).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT/151/345A	Uxbridge South	Charter Place, Vine Street, Uxbridge 30675/APP/2014/1345	25,000.00	25,000.00	25,000.00	25,000.00	0.00	0.00	0.00	Contribution received towards improvement of the area from the High Street through to Windsor Street to Charter Place (see agreement for details). Funds to be spent within 5 years of receipt (June 2020). Funds allocated towards public realm improvements in Windsor Street (Cabinet Member Decision 17/01/2019). Scheme complete September 2019. Final invoices received Q3.
PT152/344B *160	Uxbridge South	Building 63, Phase 500, Riverside Way, Uxbridge 56862/APP/2014/170	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan contribution. For use by the Council to complete any remedial measures to ensure compliance by the owner with the travel plan. Unused funds to be returned at the end of the monitoring period (10 years).
PT/153/345B *159	South Uxbridge	Charter Place, Vine Street, Uxbridge 30675/APP/2014/1345	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan contribution. For use by the Council to complete any remedial measures to ensure compliance by the owner with the travel plan. Unused funds to be returned at the end of the monitoring period (10 years).
PT/155/283D	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge. 585/ APP/ 2009/2752	63,366.34	63,366.34	**35,012.56**	0.00	**35,012.56**	**28,353.78**	3,366.34	Contribution received as the first of two instalments towards the provision of bus stops serving the development, in line with the S106 Planning Obligations SPD 2008. Funds to be spent within 10 years of receipt (Oct 2025). £60k allocated towards the upgrade of bus stops in the vicinity of St Andrews Park (Cabinet Member Decision 31/07/19). **Scheme completed March 2020. Awaiting invoices.**
PT/157/355A *119	Botwell	Formr EMI Site, Dawley Rd, Hayes 8294/APP/2015/1406	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned 10 years from occupation.
PT/158/371A *123	Heathrow Villages	272-276 Bath Rd, Hayes 464/APP/2014/2886	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).
PT/159/372A	Yiewsley	Phase 3, Stockley Park, Stockley Road. 37977/APP/2015/1004	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	5,000.00	contribution received to fund a flood attentuation feasibility study for packet Boat Lane (see agreement for details). Funds to be spent within 7 years of receipt (Jan 2023).
PT/160/354C *124	Botwell	Land on west side of Dawley Road, Hayes (EC House) 38065/APP/2014/2143	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).
PT/161/373 * 125	Townfield	Airlink House, 18-22 Pump Lane, Hayes 5505/APP/2015/1546	8,000.00	8,000.00	0.00	0.00	0.00	8,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation). Further £4,000 received as the second bond payment.
PT/162/249G	Townfield	Fmr Glenister Hall, 114 Minet Drive, Hayes 40169/APP/2011/243	2,500.00	2,500.00	0.00	0.00	0.00	2,500.00	2,500.00	Funds received towards the implementation of passing bays in Hunters Grove (if required). See agreement for details.
PT/163/40I	Botwell	Old Vinyl Factory, Blyth Rd, Hayes. 51588/APP/2000/1827 & 5987/APP/2012/1838	20,390.78	20,390.78	0.00	0.00	0.00	20,390.78	20,390.78	Contribution received towards the cost of upgrading the bus stops on Clarenden Road and providing Legible London signage in the vicinity of the site. Funds to be spent within 7 years of receipt (March 2023)
PT/164/374A	Botwell	Global Academy. Old Vinyl Factory, Blyth Road, Hayes. 59872/APP/2015/1798	120,000.00	120,000.00	0.00	0.00	0.00	120,000.00	120,000.00	Contribution to be used by TFL towards bus service improvements made necessary by the development, namely additional bus service provision on specified route serving the development and related infrastructure. Funds to be spent within 7 years of receipt (March 2023).
PT/165/374B *126	Botwell	Global Academy. Old Vinyl Factory, Blyth Road, Hayes. 5505/APP/2015/1546	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT/166/359B	Yiewsley	26-36 Horton Rd, Yiewsley 3507/APP/2013/2327	50,500.00	50,500.00	0.00	0.00	0.00	50,500.00	50,500.00	Contribution to be used by the Council towards the provison of CCTV; provison of lighting; closure/gating of paths and links; safety improvements to public transport interchanges ; facilities and car parks; enhanced night bus networks to and from major new facilities and leisure uses within the Authority's area (see agreement for details). Spend within 7 years of receipt (Jan 2023).
PT/167/382A	West Drayton	Kichener House, Warwick Rd, West Drayton. 18218/APP/2013/2183	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	0.00	Contribution received towards the provision of improvements to West Drayton Railway Station and its surroundings, arising from the Cross Rail development. Funds to be spent within 10 years of receipt (April 2026). Funds allocated towards West Drayton Station Complimentary Measures (Cabinet Member Decison 13/03/2018).
PT/168/383A *127	Uxbridge North	Pavilions Shopping Centre, Chequers Square, Uxbridge (Primark). 35214/APP/2014/2232	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).
PT/173/386	Yiewsley	Stockley Country Park, Stockley Golf Course, Uxbridge. 37850/APP/2012/2739	6,660.00	6,660.00	0.00	0.00	0.00	6,660.00	6,660.00	Contribution received towards providing a digital topographically measured survey of the site, prior to importation of materials. (see agreement for details). No time limits for spend.
PT/175/388 *134	Yiewsley	21 High Street, Yiewsley. 26628/APP/2014/675	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received as the travel plan bond to ensure that the obligations contained in the approved travel plan are satisfactorily carried out. Any remaining funds to be returned at the end of the monitoring period (10 years from occupation).
PT/177/283F	Uxbridge North	Former RAF Uxbridge. Hillingdon Road, Uxbridge. 585/APP/2009/2752	287,124.74	287,124.74	0.00	0.00	0.00	287,124.74	287,124.74	Funds received as the first instalment of the St Andrews Roundabout contribution, to be used towards the works shown on plan number 2152-sk 52 attached to the agreement. Funds to be spent within 10 years of receipt of the last relevant payment.
PT/178/394A	Yiewsley	Padcroft Works, Tavistock Road,Yiewsley. 45200/APP/2014/3638	22,330.64	22,330.64	20,330.64	20,330.64	0.00	2,000.00	2,000.00	Funds received to be used towards canal side signage (£2000) and £20,000 towards improvements to the Grand Union Canal frontage. Funds to be spent within 7 years (Oct 2023). £20,330 allocated towards canal towpath improvements between Stockley Park and Horton Bridge Road (Cabinet Member Decision 03/04/2018). Scheme substantially complete July 2019
PT/179/360C *138	Heathrow Villages	Former Unitair Centre, Great South West Road, Feltham. 49559/APP/2014/334	20,578.80	20,578.80	0.00	0.00	0.00	20,578.80	0.00	Funds to be used by the Council towards securing compliance with the Green Travel Plan and to co-ordinate and monitor the occupier Green Travel Plan for a period of 10 years.
PT/182/396A	Pinkwell	Unit 3, Millington Road, Hayes 32157/APP/2016/1696	30,000.00	30,000.00	0.00	0.00	0.00	30,000.00	30,000.00	Funds received as the "Highways Contribution" towards a study/transport/highway capacity improvements in the surrounding area. No time limit for spend.
PT/184/399B	Townfield	Unit A Bulls Bridge Centre, North Hyde Gardens, Hayes 13226/APP/2015/4623	30,000.00	30,000.00	0.00	0.00	0.00	30,000.00	30,000.00	Funds received as the "Transport Contribution" for the provision of transport matters related to the development. No time limits for spend.
PT/186/402B	Yiewsley	21 High St, Yiewsley 26628/APP/2014/675	11,310.15	11,310.15	0.00	0.00	0.00	11,310.15	0.00	Funds received towards initiatives to improve Yiewsley Town Centre, located within the Authority's area. No time limit for spend. Funds allocated towards West Drayton Station Complimentary Measures (Cabinet Member Decision 13/03/2018).
PT/187/403A *141	Botwell	Fmr Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to be used by the Council to secure compliance with the travel plan if required. Any unspent funds to be returned at the end of the monitoring period (10 years).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT/188/404A	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	111,554.62	111,554.62	81,554.00	81,554.00	0.00	30,000.62	30,000.00	Funds received as the public realm contribution towards CCTV; provision of lighting, rerouting/closure of underused paths and links; safty improvements to public transport interchanges; environmental projects which contribute to safer town centres; enhancement night bus networks to and from major new facilities and leisure uses in the Authority's area. Funds to be spent witihn 7 years of receipt (April 2024). £81,554 from this contribution allocated towards Hayes Town Centre CCTV upgrade, as part of a Borough wide Scheme (Cabinet Member Decision 17/01/2019). CCTV scheme completed Autumn 2018. Remaining balance (£30k) to be used towards Hayes subway improvements, subject to formal allocation
PT/189/405A	Pinkwell	Mercury House, Westlands Estate, North Hyde Road, Hayes (Premier Inn) 22632/APP/2016/2369	50,000.00	50,000.00	0.00	0.00	0.00	50,000.00	50,000.00	Funds received as the highways contributon to be used towards highway capacity improvements in the surrounding road network. Such improvements to incorporate air quality monitoring of the relevant road network. Funds to be spent within 7 years of receipt (June 2024)
PT/191/396C *145	Pinkwell	Unit 3, Millington Road, Hayes 32157/APP/2016/1696	40,000.00	40,000.00	0.00	0.00	0.00	40,000.00	0.00	Funds received as the travel plan sum (£20k each unit) to secure compliance with the travel plan. Unspent funds to be returned at th end of the monitoring period (10 years).
PT/192/242H	West Drayton	Fmr NATs Site, Drayton Garden Village, Porters Way, West Drayton 5107/APP/2009/2348	31,136.46	31,136.46	27,200.00	27,200.00	0.00	3,936.46	0.00	Funds received as the parking managment contribution, to be used towards the cost of establishing a parking management scheme in the West Drayton Area. No time limits for spend. £31,136 allocated and £27,200 spent towards a parking scheme in West Drayton, zone WD5 (Cabinet Member Decision 22/10/2019)
PT/193/242I	West Drayton	Fmr NATs Site, Drayton Garden Village, Porters Way, West Drayton 5107/APP/2009/2348	249,091.68	249,091.68	**111,448.51**	109,166.51	**2,282.00**	**137,643.17**	0.00	Funds received as the "British Waterways contribution", to be used towards the cost of improvement works to the Grand Union Canal. No time limits for spend. Funds allocated towards towpath improvements on the Grand Union Canal between Horton Bridge Road and Trout Road, Yiewsley (Cabinet Member Decision 21/09/2018). **Scheme completed March 2020. Awaiting invoices**
PT/194/403D	Botwell	Former Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	59,000.00	59,000.00	**39,613.94**	30,552.45	**9,061.49**	**19,386.06**	0.00	Funds received as the " Traffic Impact contribution" , to be used by the Council towards bus service improvments, installation of land mark bus shelters on Church Road, installation of road signs in the vicinity of the development (see agreement for details) . No time limits for spend. Funds allocated towards bus stop upgrade,contribution to new 278 bus service and improvements to pedestrian link between Lidl & Hayes Town Centre (Cabinet Member Decision 03/06/2019). **Scheme completed March 2020, awaiting invoices.**
PT/195/409A *147	Heathrow Villages	Fmr Contractor's Compound, South of Swindon Road, Heathrow Airport 67622/APP/2013/2532 & 67622/APP2015/1651	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to be used by the Council to secure compliance with the travel plan if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/197/40N *148	Botwell	The Old Vinyl Factory, Blyth Road, Hayes 59872/APP/2012/1838 & 59872/APP/2013/3775	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to be used by the Council to secure compliance with the travel plan if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/198/414A	Hillingdon East	Abbotsfield & Swakeleys School, Clifton Gardens, Hillingdon 3505/APP/2015/3030	450,000.00	450,000.00	0.00	0.00	0.00	450,000.00	0.00	Contribution received to be used by TFL towards bus service improvements. Funds to be spent within 7 years of payment (March 2025). Funds allocated to support the new 278 bus service (Cabinet Member Decision 05/02/2020).
PT/199/415A *151	West Drayton	West Drayton Police Station, Station Road, West Drayton 12768/APP/2016/1580 & 12768/APP/2014/1870	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/200/414B	Hillingdon East	Abbotsfield & Swakeleys School, Clifton Gardens, Hillingdon 3505/APP/2015/3030	16,430.00	16,430.00	0.00	0.00	0.00	16,430.00	16,430.00	Contribution recieved to be used by TFL towards bus stop improvements along Long Lane. Funds to be spent within 7 years of payment (March 2025).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT/201/404C *152	Hillingdon East	Abbotsfield & Swakeleys School, Clifton Gardens, Hillingdon 3505/APP/2015/3030	21,200.00	21,200.00	0.00	0.00	0.00	21,200.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/202/417A *153	West Drayton	Grand Union Office Park, Packet Boat Lane, West Drayton 1197/APP/2015/4164	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/203/400C *156	Heathrow Villages	World Business Centre, 4 Newall Road, heathrow Airport 71487/APP/2015/4718 &71478/APP/2017/1605	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/204/419C *157	Heathrow Villages	Cessna Road, Terminal 2, Heathrow Airport 62360/APP/2015/4277	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/206/422A	Uxbridge North	Land rear of 85-87 Manor Waye, Uxbridge 67593/APP/2017/2114	2,000.00	2,000.00	0.00	0.00	0.00	2,000.00	0.00	Funds received towards the cost of implementing a stopping up order required under the agreement. No time limits for spend.
PT/207/423A	Heathrow Villages	1 Nobel Drive, Harlington, Hayes 46214/APP/2014/2827	12,600.00	12,600.00	0.00	0.00	0.00	12,600.00	12,600.00	Contribution received to be used by the Council towards off site carbon reduction measures, schemes and initiatives in order to mitigate the development. No time limit for spend.
PT/208/423B	Heathrow Villages	1 Nobel Drive, Harlington, Hayes 46214/APP/2014/2827	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/209/410B	Uxbridge South	66 High Street (Fassnidge Park Hall), Uxbridge 12156/APP/2015/4166 &12156/APP/2016/4647	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to ensure compliance with the travel plan, if required. Any unspent funds to be returned at the end of the monitoring period (10 years) .
PT/210/424A	Yiewsley	Land at Onslow Mills, Trout Road, West Drayton 1724/APP/2016/3513	5,745.78	5,745.78	0.00	0.00	0.00	5,745.78	5,745.78	Contribution to be used by the Council towards off site carbon reduction measures, schemes and initiatives in order to mitigate the harm caused by the devlopment. No time limit for spend.
PT/212/425B	Yiewsley	Land rear of 2-24 Horton Road, West Drayton 71582/APP/2016/4582	26,083.36	26,083.36	0.00	0.00	0.00	26,083.36	26,083.36	Contribution received towards the cost of carrying out highway works including Legible London finger posts and resurfacing the canal towpath adjacent to the site (see agreement for details). Funds to be spent within 7 years of receipt (Dec 2025). Indexation received.
PT/214/430A	Uxbridge South	Randalls 7-9 Vine St, Uxbridge 41309/APP/2016/3391	33,304.30	33,304.30	0.00	0.00	0.00	33,304.30	33,304.30	Contribution received towards off-site carbon reduction measures to mitigate the development. No time limit for spend.
PT/215/430B	Uxbridge South	Randalls 7-9 Vine St, Uxbridge 41309/APP/2016/3391	91,501.11	91,501.11	13,487.04	13,487.04	0.00	78,014.07	0.00	Funds received as the town centre contribution. No time limit for spend. Funds allocated towards Vine Street public realm improvements (Cabinet Member Decision 28/11/2019). Scheme substantially completed March 2020. Remaining works delayed due to COVID 19. Awaiting invoices.
PT/216/427A	Uxbridge South	Waterloo Wharf, Waterloo Road, Uxbridge 43016/APP/2016/2840	31,182.67	31,182.67	0.00	0.00	0.00	31,182.67	**0.00**	Contribution received towards off-site carbon reduction measures, schemes and inititiatives to mitigate the development. No time limit for spend. **Funds allocated towards towpath improvements between Cowley Mill Road & Rockingham Road (Cabinet Member Decision 08/10/2020). Scheme on site.**
PT/217/427B	Uxbridge South	Waterloo Wharf, Waterloo Road, Uxbridge 43016/APP/2016/2840	31,581.65	31,581.65	0.00	0.00	0.00	31,581.65	31,581.65	Contribution received to be used by the Canals & Rivers Trust towards canalside improvement works to the canalside land (shown on plan attached to the agreement). Works to include towpath and access improvements. No time limit for spend.
PT/218/297E	Heathrow Villages	Fmr Technicolor Site, 276 Bath Rd, Sipson. 35293/APP/2009/1938	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to be used by the Council to secure compliance with the travel plan if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/219/429A	Botwell	Fmr Nestle Factory, Nestle Avenue, Hayes (Industrial) 1331/APP/2017/1883	6,000.00	6,000.00	0.00	0.00	0.00	6,000.00	6,000.00	Contribution received as the" Industrial land Legible London contribution" towards the provision of Legible London signage in the vicinity of the developemnt. Funds to be spent within 10 years of receipt (March 2029).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT/220/429B	Botwell	Fmr Nestle Factory, Nestle Avenue, Hayes (Residential) 1331/APP/2017/1883	101,716.12	101,716.12	0.00	0.00	0.00	101,716.12	101,716.12	Funds received as the first instalment of the "Bulls Bridge Contribution " towards highway and traffic improvements to the Bulls Bridge Roundabout. Funds to be spent within 10 years of receipt.
PT/221/429C	Botwell	Fmr Nestle Factory, Nestle Avenue, Hayes (Residential) 1331/APP/2017/1883	4,577.23	4,577.23	0.00	0.00	0.00	4,577.23	4,577.23	Contribution received as the" Residential land Legible London contribution" towards the provision of Legible London signage in the vicinity of the development. Funds to be spent within 10 years of receipt (March 2029).
PT/222/434A	Botwell	30-32 Blyth Road, Hayes 68974/APP/2018/2146	87,249.00	87,249.00	0.00	0.00	0.00	87,249.00	87,249.00	Funds received as the first instalment towards the provision of offsite carbon reduction measures to mitigate the impact of the development. Funds to be spent within 7 years of receipt (April 2026).
PT/223/435A *164	Uxbridge South	Fmr Trimite Site, Arundel Road, Uxbridge 9117/APP/2016/278	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received to be used by the Council to secure compliance with the travel plan if required. Any unspent funds to be returned at the end of the monitoring period (10 years).
PT/226/438A	Uxbridge South	Westcombe House, 36-38 Windsor Street, Uxbridge (13544/APP/2017/3388)	42,533.64	42,533.64	0.00	0.00	0.00	42,533.64	42,533.64	Funds received towards measures that will enhance the public realm and broaden travel choice in Uxbridge Town Centre. No time limit for spend. Indexation(£4,837) received in Q4. Indexation corrected (£2,533) Q1
PT/227/440A	Uxbridge South	Dolphin Bridge House, Rockingham Road,Uxbridge 35248/APP/2017/3013	57,557.36	57,557.36	0.00	0.00	0.00	57,557.36	57,557.36	Contribution received towards the improvement of the canal towpath between Rockingham Road and Oxford Road as a Quiet Way. Funds to be spent within 10 years of receipt (December 2029).
PT/228/441A	Uxbridge North	297 Long Lane, Hillingdon 4860/APP/2018/3719	34,705.45	34,705.45	0.00	0.00	0.00	34,705.45	34,705.45	Contribution to be used by the Council towards the provision of off-site carbon reduction measures to mitigate the development. Funds to spent within 7 years of receipt (December 2026)
PT/229/441B	Uxbridge North	297 Long Lane, Hillingdon 4860/APP/2018/3719	94,600.57	94,600.57	0.00	0.00	0.00	94,600.57	94,600.57	Contribution to be used towards measures to improve the ease with which people with disabilities can move around Hillingdon Circus Shopping parade between 299 &335 Long Lane (see agreement for details). Funds to be spent within 7 years of receipt (December 2026)
PT/230/429G	Botwell	Fmr Nestles Factory, Nestles Avenue, Hayes 133/APP/2017/1883	443,675.56	443,675.56	0.00	0.00	0.00	443,675.56	443,675.56	Funds received as the "Residential land MMT contribution" to be used towards the proposed Multi Modal Transport scheme (see agreement for details). Funds to be spent within 10 years of receipt (February 2030)
PT/231/429H	Botwell	Fmr Nestles Factory, Nestles Avenue, Hayes 133/APP/2017/1883	**161,869.01**	159,138.00	0.00	0.00	0.00	**161,869.01**	**161,869.01**	Funds received as the "zero carbon contribution" towards the Council's Carbon of-set fund. Funds to be spent within 10 years of receipt February 2030. **Indexation received Q2**
PT/232/429I	Botwell	Fmr Nestles Factory, Nestles Avenue, Hayes 133/APP/2017/1883	437,000.00	437,000.00	0.00	0.00	0.00	437,000.00	437,000.00	Funds received as the "Residential Land Additional Bus Contribution" towards the provision of additional bus capacity on the bus network in the vicinity of the development. Funds to be spent within 10 years of receipt (February 2030)
PT/233/442A	Uxbridge North	Armstrong House, Market Square, Uxbridge 36573/APP/2017/3389	131,886.54	131,886.54	0.00	0.00	0.00	131,886.54	131,886.54	Funds received towards measures that will enhance the public realm and broaden travel choice in Uxbridge Town Centre (see agreement for details). No time limit for spend.
PT/235/450A	Botwell	Land at the Arena, Bennetsfield Road, Stockley Park 37800/APP/296/1430	31,678.17	31,678.17	0.00	0.00	0.00	31,678.17	31,678.17	Funds received as a contribution towards the Council's Carbon Fund. Funds to be used by the Council towards the provision of offsite carbon reduction measures to mitigate carbon emissions from the development. Funds to be spent within 7 years of receipt (June 2027).
PT/236/450B	Botwell	Land at the Arena, Bennetsfield Road, Stockley Park 37800/APP/296/1430	72,466.40	72,466.40	0.00	0.00	0.00	72,466.40	72,466.40	Funds received as a contribution towards highway improvement works to the local highway network to alleiviate the traffic congestion caused by the development. Funds to be spent within 7 years of receipt (June 2027).
PT/237/551A	Uxbridge North	51 Belmont Road, Uxbridge 34151/APP/2019/1179	23,400.00	23,400.00	0.00	0.00	0.00	23,400.00	23,400.00	Contribution to be used by the Council towards the provision of offsite carbon reduction measures to mitigate the impact of the development. No time limit for spend.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PT/238/418E	**Botwell**	**20-30 Blyth Road, Hayes 1425/APP/2011/3040**	**20,000.00**	**0.00**	**0.00**	**0.00**	**0.00**	**20,000.00**	**20,000.00**	**Funds received as the public realm contribution towards CCTV; provision of lighting, rerouting/closure of underused paths and links; safty improvements to public transport interchanges; environmental projects which contribute to safer town centres; enhancement night bus networks to and from major new facilities and leisure uses in the Authority's area. Funds to be spent within 7 years of receipt (August 2027). See agreement for details.**
		PLANNING TRANSPORTATION SUB - TOTAL	**6,985,429.24**	**6,962,698.23**	**1,978,453.34**	**1,807,097.29**	**277,399.06**	**5,006,975.90**	**2,621,294.63**	
		PLANNING TRANSPORTATION TOTAL	**8,893,151.78**	**8,870,420.77**	**3,036,693.59**	**2,865,337.54**	**277,399.06**	**5,856,458.19**	**2,621,294.63**	
PORTFOLIO: EDUCATION CHILDREN & YOUTH SERVICES										
EYL/230/283C	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge. 585/ APP/ 2009/2752	6,735,856.60	6,735,856.60	6,735,856.60	6,735,856.60	0.00	0.00	0.00	£2,545,734 received as the first instalment towards providing education, educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces. Contribution to be spent within 10 years of receipt. Funds spent towards Council's School Expansion Programme financing 2015/16 (Cabinet Member Decision 06/01/2017 (retrospective). Further £1,363,649 received as the second instalment. Funds allocated and spent towards School Capital Programme 2017/18 . Third instalment (£1,400,839.53) received and spent towards School Capital Programme 2018/19 (Cabinet Member Decision 27/02/2018). Fourth instalment (£1,425,633.84) received Q3 and spent towards School Capital Programme 2019/20 (Cabinet Member Decision 27/02/2018).
		EDUCATION, CHILDREN & YOUTH SUB - TOTAL	**6,735,856.60**	**6,735,856.60**	**6,735,856.60**	**6,735,856.60**	**0.00**	**0.00**	**0.00**	
				0.00		0.00				
PORTFOLIO: COMMUNITY, COMMERCE AND REGENERATION										
PPR/47/26A (formerly PT/56/26A)	Botwell	Trident Site, Phase 3 Stockley Park - Hayes Hub/H50 & Botwell Common Road Zebra Crossing 37977/P/94/335	2,601,600.00	2,601,600.00	1,808,071.42	1,808,071.42	0.00	793,528.58	0.00	See Cabinet report 18 December 2003. Balance allocated to Hayes & Harlington Station Improvements and associated interchange initiatives. Project on-hold due to design issues. Officers investigating alternative improvements to area around the station. No time limits. Funds earmarked towards improvements to the public transport interchange and public realm improvements as part of the Crossrail/Hayes Town Centre Scheme. Funds allocated towards Hayes Town Centre Complimentary Measures (Cabinet Member Decision 24/08/2017).
PPR/49/174C	Heathrow Villages	Terminal 2, Heathrow Airport. 62360/APP/2006/2942	600,000.00	600,000.00	539,897.80	539,897.80	0.00	60,102.20	0.00	Contribution towards the Local Labour Strategy. No time limits. £200,000 allocated to deliver Strategy (Cab Member decision 27/10/10). £88,000 allocated and £42,900 spent towards Economic Development (ED) post within LBH 12/13 (Cab Member Decision 19/3/13). £44,100 spent towards E D post 2013/14. Further £91,323 allocated towards E D Officer Post. (Cab Member Decision 10/9/2014). £46,321 Spent towards E D Officer Post 2015/16. £150,000 received towards the same purpose (T2 instalments 2014/15,15/16 and 16/17 to be confirmed). £110,902 allocated towards Senior E D Officer Post (Cab Member Decision 10/02/2017). £46,300 spent towards Officer post 2016/17. Final T2 instalment (£50k) received (2017/18). T2 instalment received 2018/19. £54,500 spent towards Senior E D Post (2017/18). £92,376 allocated and £46,188 spent towards E D Officer post in each of 2018/19 & 2019/20 (Cab Member Decision 29/03/2019).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PPR/49/174D	Heathrow Villages	Terminal 2, Heathrow Airport. 62360/APP/2006/2942	531,426.00	531,426.00	450,000.00	450,000.00	0.00	81,426.00	0.00	Funds received towards the Local Labour Strategy, as defined in the agreement. No time limits. A total of £450,000 due to be received under this agreement has been allocated towards the Heathrow Academy Programme (Cabinet Member decision 19/11/12). Total of £261,000 paid towards Academy Programme 2012/13. Further £270,246 received towards the Programme. Total match funding towards Heathrow Academy Programme received and spent (2014).
PPR/53/149H	Botwell	Former Hayes Goodsyard site. 10057/APP/2005/2996&299	6,000.00	6,000.00	2,000.00	2,000.00	0.00	4,000.00	0.00	£2,000 received towards the maintenance and operation by the Council of the station approach cameras. Funds spent towards operation of station cameras 09/10. Further £4,000 received as 2nd & 3rd annual instalments.
PPR/70/267C	Botwell	Fmr Ram PH, Dawley Rd, Hayes 22769/APP/2010/1239	10,000.00	10,000.00	8,883.47	8,883.47	0.00	1,116.53	0.00	Funds to be used for the purpose of improving community facilities in the vicinity of the development. No time limits for spend. Funds allocated towards upgrading cinema equipment at The Beck Theatre (Cabinet Member Decision 28/08//2014). Scheme complete, contribution not required, funds to be reallocated. Balance allocated towards accessibility improvements at the Beck Theatre (Cabinet Member Decision 28/06/2017). Scheme complete.
PPR/71/277C	Heathrow Villages	The Portal, Scylla Rd, Heathrow Airport 50270/APP/2011/1422	20,579.41	20,579.41	0.00	0.00	0.00	20,579.41	20,579.41	Contribution received towards public realm improvements in the vicinity of the development including, CCTV, footpath safety, safer town centres, public transport interchange facilities (see agreement for details). Further contribution received towards the same purpose. No time limits for spend.
PPR/72/277D	Heathrow Villages	The Portal, Scylla Rd, Heathrow Airport. 50270/APP/2011/1422	51,609.00	51,609.00	51,609.00	51,609.00	0.00	0.00	0.00	Contribution received towards training persons within the locality of the development for jobs of a nature to be carried out within the development. Further contribution received towards the same purpose. No time limits for spend. Funds allocated towards a logistics training initiative to be provided by Uxbridge College (Cabinet Member Decision 05/11/2019). Funds transferred to Uxbridge College Q3. Diminimus balance 0.49 transfered to PT/44.
PPR/80/297B	Heathrow Villages	Fmr Technicolor Site, 276 Bath Rd, Sipson. 35293/APP/2009/1938	46,055.55	46,055.55	0.00	0.00	0.00	46,055.55	0.00	Contribution received towards public realm improvement works to be delivered within the vicinity of the land. Funds to be spent within 7 years of receipt (May 2020). Funds allocated towards public realm improvements on the Bath Road (Cabinet Member Decision 05/02/2020). Scheme delayed due to Covid-19.
PPR/81/297C	Heathrow Villages	Fmr Technicolor Site, 271 Bath Rd, Sipson. 35293/APP/1938	16,695.00	16,695.00	16,695.00	16,695.00	0.00	0.00	0.00	Contribution received towards the provision of training in the hospitality and leisure industry (see agreement for further details). Funds to be spent within 7 years of receipt (May 2020). Funds allocated towards the purchase of specialist equipment for hospitality training at Uxbridge College (Cabinet Member Decision 05/11/2019). Funds transferred to Uxbridge College Q3. Diminimus balance 0.14 transfered to PT/44.
PPR/93/333C	Yiewsley	39 High Street, Yiewsley 24485/APP/2013/138	25,010.10	25,010.10	0.00	0.00	0.00	25,010.10	0.00	Contribution received as the "public realm contribution" towards the provision of CCTV, lighting, closure/gating of paths and links, safety improvements to public transport interchanges, facilities, and car parks, enhanced night bus networks to and from major new facilities and leisure uses within the authority's area. No time limits for spend. Allocated towards public realm improvements at West Drayton Station as part of Crossrail Project (Cabinet Member Decision 13/03/2018).
PPR/101/348D	Uxbridge North	Lancaster & Hermitage Centre, Lancaster Road, Uxbridge. 68164/APP/2011/2711	3,331.89	3,331.89	0.00	0.00	0.00	3,331.89	3,331.89	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits for spend.
PPR/104/355B	Botwell	Formr EMI Site, Dawley Rd, Hayes 8294/APP/2015/1406	82,800.00	82,800.00	0.00	0.00	0.00	82,800.00	82,800.00	Contribution received towards investment in local energy efficiency and carbon reduction measures within the Autority's area. Spend within 7 years of receipt (Nov 2022).
PPR/105/355C	Botwell	Formr EMI Site, Dawley Rd, Hayes 8294/APP/2015/1406	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	**0.00**	Funds received towards the provision of a construction work place co-ordinator. Funds to be spend within 7 years of receipt (Nov 2022). **Contribution allocated towards the Council's Construction Training Co-ordinator Service (Cabinet Member Decision 06/10/2020).**

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PPR/108/371B	Heathrow Villages	272-276 Bath Rd, Hayes 464/APP/2014/2886	19,600.00	19,600.00	0.00	0.00	0.00	19,600.00	19,600.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/109/378A	Townfield	Hayes Gate House, Uxbridge Road, Hayes 2385/APP/2013/2523	138,774.29	138,774.29	90,379.21	90,379.21	0.00	48,395.08	0.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 5 years of receipt (Jan 2021). Funds allocated towards the Construction Coordinator Service (Cabinet Member Decision 25/04/2018). £37,175 spent towards the Construction Coordinator Service 2018/19. £53,203 spent towards the Construction Coordinator Service 2019/20.
PPR/110/372B	Yiewsley	Phase 3, Stockley Park, Stockley Road. 37977/APP/2015/1004	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	**0.00**	Funds received as the "Phase 1 " payment towards the provision of a construction workplace coordinator and/or providing construction training courses within the Authority's area. Funds to be spent within 7 years of receipt (Jan 2023). **Contribution allocated towards the Council's Construction Training Co-ordinator Service (Cabinet Member Decision 06/10/2020).**
PPR/111/379A	Townfield	1-3 Uxbridge Rd, Hayes. 1911/APP/2012/3185	99,175.00	99,175.00	0.00	0.00	0.00	99,175.00	**0.00**	Funds received towards the provision of construction training courses delivered by recognised provider and/or a construction work place co-ordinator within the Authority's area. Funds to be spend within 7 years of receipt (March 2023). **£24k allocated towards the Council's Construction Training Co-ordinator Service & £75k allocated towards the "Build Training Initiative "(Cabinet Member Decision 06/10/2020).**
PPR/113/274C	Botwell	Global Academy. Old Vinyl Factory, Blyth Road, Hayes. 5505/APP/2015/1546	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	**0.00**	Funds received towards the provision of a construction work place co-ordinator within the Authority's area. Funds to be spend within 7 years of receipt (March 2023). **Contribution allocated towards the Council's Construction Training Co-ordinator Service (Cabinet Member Decision 06/10/2020).**
PPR/116/382C	West Drayton	Kitchener House, Warwick Rd, West Drayton. 18218/APP/2013/2183	16,769.78	16,769.78	0.00	0.00	0.00	16,769.78	16,769.78	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 10 years of receipt (April 2026).
PPR/117/283E	North Uxbridge	Pavilions Shopping Centre, Chequers Square, Uxbridge (Primark). 35214/APP/2014/2232	13,150.00	13,150.00	0.00	0.00	0.00	13,150.00	**0.00**	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (May 2023). **Contribution allocated towards the Council's Construction Training Co-ordinator Service (Cabinet Member Decision 06/10/2020).**
PPR/118/384C	Yiewsley	Caxton House, Trout Road, Yiewsley. 3678/APP/2013/3637	35,415.97	35,415.97	0.00	0.00	0.00	35,415.97	35,415.97	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits for spend.
PPR/121/391	Brunel	Brunel University (AMCC2), Kingston Lane, Uxbridge. 532/APP/2015/350	24,559.38	24,559.38	0.00	0.00	0.00	24,559.38	24,559.38	Funds received towards the cost of providing construction training to residents in the local vicinity of the land. No time limits for spend.
PPR/122/387C	Uxbridge North	Norwich Union House, 1-3 Bakers Road, Uxbridge 8218/APP/2011/1853	32,443.83	32,443.83	0.00	0.00	0.00	32,443.83	32,443.83	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (September 2023).
PPR/124/398A	Heathrow Villages	Building 717, Located Between Sheffield Way & Southern Perimeter Road, Heathrow. 50657/APP/2013/2214	24,000.00	24,000.00	0.00	0.00	0.00	24,000.00	24,000.00	Funds to be used towards (but not limited to) the cost of assisting relevant hotel and leisure industry relaated training course offerd by recognised and accredited organisations such as uxbridge College or other training providers in the Authority's area. Funds to be spent within 5 years of receipt (Nov 2021).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PPR/126/396B	Pinkwell	Unit 3, Millington Road, Hayes 32157/APP/2016/1696	18,012.29	18,012.29	0.00	0.00	0.00	18,012.29	18,012.29	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/128/399A	Townfield	Unit A Bulls Bridge Centre, North Hyde Gardens. 13226/APP/2015/4623	12,100.00	12,100.00	0.00	0.00	0.00	12,100.00	12,100.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/130/403B	Botwell	Fmr Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	16,388.00	16,388.00	0.00	0.00	0.00	16,388.00	16,388.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/133/407	Heathrow Villages	IAG Cargo Campus, Sealand Road, Heathrow Airport 50045/APP/2016/2081	47,100.00	47,100.00	0.00	0.00	0.00	47,100.00	47,100.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/135/400B	Heathrow Villages	World Business Centre, 4 Newall Road, Heathrow Airport 71487/APP/2015/4718	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received towards the cost of providing a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (Oct 2024).
PPR/136/409B	Heathrow Villages	Fmr Contractor's Compound, South of Swindon Road, Heathrow Airport 67622/APP/2013/2532 & 67622/APP2015/1651	149,250.00	149,250.00	0.00	0.00	0.00	149,250.00	149,250.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 5 years of receipt (Dec 2023).
PPR/137	Heathrow Villages	Fmr Contractor's Compound, South of Swindon Road, Heathrow Airport 67622/APP/2013/2532 & 67622/APP2015/1651	15,000.00	15,000.00	0.00	0.00	0.00	15,000.00	15,000.00	Funds received towards the cost of assisting relevant hotel and leisure industry related training courses offered by recognised and accerdited organisations such as Uxbridge College or othe training providers within the Authority's area. Funds to be spent within 5 years of receipt (Dec 2023).
PPR/138/412A	Botwell	Enterprise House, 133 Blyth Road, Hayes 11623/APP/2013/3606	91,331.24	91,331.24	0.00	0.00	0.00	91,331.24	91,331.24	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits
PPR/139/415B	West Drayton	West Drayton Police Station, Station Road, West Drayton 12768/APP/2016/1580 & 12768/APP/2014/1870	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received towards the cost of providing a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/140/420B	Townfield	Fmr Kings Arms PH, 109 Coldharbour Lane, Hayes 10954/APP/2011/1997	18,952.76	18,952.76	0.00	0.00	0.00	18,952.76	18,952.76	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits.
PPR/141/419B	Heathrow Villages	Cessna Road, Terminal 2, Heathrow Airport 62360/APP/2015/4277	72,400.00	72,400.00	0.00	0.00	0.00	72,400.00	72,400.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. Funds to be spent within 7 years of receipt (August 2025).
PPR/142/419C	Heathrow Villages	Cessna Road, Terminal 2, Heathrow Airport 62360/APP/2015/4277	12,000.00	12,000.00	0.00	0.00	0.00	12,000.00	12,000.00	Funds received towards the provision of recruitment, training and employment opportunities in the hotel, hospitality and leisure industry, to people residing in the Borough. Funds to be spent within 7 years of receipt (August 2025).
PPR/144/425C	Yiewsley	Land rear of 2-24 Horton Road, West Drayton 71582/APP/2016/4582	84,477.78	84,477.78	0.00	0.00	0.00	84,477.78	84,477.78	Funds received towards providing construction training courses delivered by recognised providers and the provision of a constuction workplace coordinator within the Authority's area. Funds to be spent within 7 years of receipt (Dec 2025). Indexation received.
PPR/146/427C	Uxbridge South	Waterloo Wharf, Waterloo Road, Uxbridge 43016/APP/2016/2840	9,600.00	9,600.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received towards the provision of a construction workplace co-ordinator. No time limit for spend.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
PPR/148/432	Uxbridge North	33-37 Belmont Road, Uxbridge 45222/APP/2015/4692	4,800.00	4,800.00	0.00	0.00	0.00	4,800.00	4,800.00	Funds received towards providing construction training courses delivered by recognised providers and the provision of a construction workplace coordinator within the Authority's area. Funds to be spent within 7 years of receipt (March 2026).
PPR/149/433A	Heathrow Villages	Renaissance London Heathrow Hotel, Bath Road 12004/APP/2018/2720	2,800.00	2,800.00	0.00	0.00	0.00	2,800.00	2,800.00	Funds received towards the provision of recruitment, training & employment opportunities in the hotel, hospitality and leisure industry to people residing in the Authority's area. No time limit for spend.
PPR/150/410C	Uxbridge South	66 High Street (Fassnidge Park Hall), Uxbridge 12156/APP/2015/4166 &12156/APP/2016/4647	10,520.00	10,520.00	0.00	0.00	0.00	10,520.00	10,520.00	Funds received towards the provision of a construction workplace co-ordinator. No time limit for spend.
PPR/151/429D	Botwell	Fmr Nestle Factory, Nestles Avenue, Hayes (Industrial) 1331/APP/2017/1883	80,000.00	80,000.00	0.00	0.00	0.00	80,000.00	40,000.00	Contribution received as the "Industrial land employment & training contribution" to be used towards employment & training measures within the Authority's area. See agreement for Employment & Training Strategy. Funds to be spent within 10 years of receipt. £40,000 allocated towards Nestle Factory Supply Chain Initiative (Cabinet Member Decision 05/11/2019).
PPR/152/429E	Botwell	Fmr Nestle Factory, Nestles Avenue, Hayes (Residential) 1331/APP/2017/1883	61,029.67	61,029.67	30,000.00	30,000.00	0.00	31,029.67	31,029.67	Contribution received as the "Residential land employment & training contribution" to be used towards employment & training measures within the Authority's area. See agreement for Employment & Training Strategy. Funds to be spent within 10 years of receipt. £30,000 allocated towards Nestle Factory Supply Chain Initiative (Cabinet Member Decision 05/11/2019). £30k transferred to Hillingdon Chamber of Commerce to support first year of the scheme.
PPR/154/449A	West Drayton	5 Station Road, West Drayton 65480/APP/2014/1018	45,658.51	45,658.51	0.00	0.00	0.00	45,658.51	45,658.51	Funds received towards providing construction training courses delivered by recognised providers and the provision of a construction workplace coordinator within the Authority's area. No time limit for spend.
PPR/156/446A	Botwell	6 Roundwood Avenue, Stockley Park 37403/APP/2018/4475	2,880.00	2,880.00	0.00	0.00	0.00	2,880.00	2,880.00	Funds received towards providing construction training courses delivered by recognised providers and the provision of a construction workplace coordinator within the Authority's area. No time limit for spend.
PPR/158/550C	Botwell	Land at the Arena, Bennetsfield Road, Stockley Park 37800/APP/296/1430	2,070.47	2,070.47	0.00	0.00	0.00	2,070.47	2,070.47	Funds received as the construction training coordinator costs asssociated with the scheme. Funds to be spent within 7 years of receipt (June 2027).
		COMMUNITY, COMMERCE & REGENERATION TOTAL	**5,203,365.92**	**5,203,365.92**	**2,997,535.90**	**2,997,535.90**	**0.00**	**2,205,830.02**	**965,070.98**	
PORTFOLIO: CENTRAL SERVICES, CULTURE & HERITAGE										
CSL/14/220	Townfield	Trescott House, Hayes . 36261/APP/2010/215	1,599.00	1,599.00	1,599.00	1,599.00	0.00	0.00	0.00	Funds received towards additional or improved library facilities in the vicinity of the site. No time limits. Funds spent towards the Libraries Refurbishment Programme as part of the end of year closing of accounts. Spend subject to formal approval.
CSL/26/249B	Townfield	Fmr Glenister Hall, Minet Drive, Hayes. 40169/APP/2011/243	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Funds received towards the provision of necessary capacity enhancements at the Townfield Community Centre. No time limit for spend.
CSL/59/283E	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge. 585/ APP/ 2009/2752	67,600.00	67,600.00	0.00	0.00	0.00	67,600.00	67,600.00	Funds received as the second instalment of the Library contribution (5 instalments due in total). Funds to be used towards the provision or improvement of library facilities and/or books within the Authority's area. Spend within 10 years of receipt (2027) . Earmarked towards Library refurbishment Programme. Third instalment (£22,600) received, Spend within 10 years of receipt (2029). Fourth instalment (£23,000) received Q3.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
CSL/68/404C	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	33,466.39	33,466.39	33,466.39	33,466.39	0.00	0.00	0.00	Funds received as a contribution towards community facilities in the vicinity of the development. Funds to be spent within 7 years of receipt (April 2024). Funds spent towards the Libraries Refurbishment Programme as part of the end of year closing of accounts. Spend subject to formal approval.
CSL/69/404D	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	6,426.65	6,426.65	6,426.65	6,426.65	0.00	0.00	0.00	Funds received towards the provision or improvement to library facilities and/or library books within the Authority's area. Funds to be spent within 7 years of receipt (April 2024). £2,057.74 allocated and spent towards the Library Book Fund 2017/18 (Cabinet Member decison 20/02/2018). Second instalment £2,155.39 received March 2018. Third and final instalment £2,213.52 received March 2019. Funds spent towards the Libraries Refurbishment Programme as part of the end of year closing of accounts. Spend subject to formal approval.
CSL/70/40L	Botwell	Old Vinyl Factory (Boiler House & Materials Store), Blyth Rd, Hayes. 59872/APP/2012/1838 & 59872/APP/2013/3775	8,633.28	8,633.28	8,633.28	8,633.28	0.00	0.00	0.00	Funds received towards the provision of library facilities within the Authority's area. Funds to be spent within 7 years of receipt (July 2024). Funds spent towards the Libraries Refurbishment Programme as part of the end of year closing of accounts. Spend subject to formal approval.
CSL/72/418B	Botwell	20-30 Blyth Road, Hayes 1425/APP/2011/3040	5,145.76	5,145.76	5,145.76	5,145.76	0.00	0.00	0.00	Funds received towards the provision of library facilities and /or library books within the Authority's area. Funds to be spent within 7 years of receipt (May 2025). Funds spent towards the Libraries Refurbishment Programme as part of the end of year closing of accounts. Spend subject to formal approval.
CSL/73/420C	Townfield	Fmr Kings Arms PH, 109 Coldharbour Lane, Hayes 10954/APP/2011/1997	954.47	954.47	954.47	954.47	0.00	0.00	0.00	Funds received towards the provision of library facilities and /or library books within the Authority's area. No time limits. Funds spent towards the Libraries Refurbishment Programme as part of the end of year closing of accounts. Spend subject to formal approval.
		CENTRAL SERVICES, CULTURE & HERITAGE - TOTAL	**143,825.55**	**143,825.55**	**56,225.55**	**56,225.55**	**0.00**	**87,600.00**	**67,600.00**	
PORTFOLIO: FINANCE PROPERTY & BUSINESS SERVICES										
E/02/18	West Drayton	Old Mill House, Thorney Mill Road, West Drayton 41706C/91/1904	81,315.22	81,315.22	55,657.45	55,657.45	0.00	25,657.77	0.00	Revenue cost (12K) spent. The balance is required for the establishment and management of a nature reserve on nearby land. Officers have liaised with London Wildlife Trust and contractors with regards to phasing of the works (access and conservation improvements) required to improve the nature reserve. Spend towards tree and footpath works. Further spend towards maintenance works. There are no time constraints upon the expenditure of the funds. £21,552.57 received as the annual payment and arrears owing towards maintenance of the nature reserve. Annual maintenance payment (£4,105 including indexation) received Q1.
E/28/71 (Formerly PT/40)	Botwell	Land at Hendrick Lovell, S.W of Dawley Road, Hayes 43554/C/92/787	12,692.00	12,692.00	267.81	267.81	0.00	12,424.19	0.00	Landscaping works (12.69K). Limited to specific area of land. Delays caused by land being in Stockley Park Consortium ownership. Green Spaces team is looking into the potential for a scheme within the parameters of the legal agreement. Site overgrown preventing planting trees in preferred location. The trees officer has suggested two locations on the site where they could be planted instead. Officers currently considering feasibility. No time constraints.
E/38/153B	Heathrow Villages	Polar Park, Bath Road, Harmondsworth 2964/APP/2002/1436 &1437	10,000.00	10,000.00	7,764.09	7,764.09	0.00	2,235.91	0.00	Funds received towards Air Quality initiatives within the vicinity of the site. No time constraints. Funds allocated towards two monitoring stations in vicinity of the site. (Cabinet Member Decision 22/6/2010). £7,764.09 spent towards air quality monitoring.
E/59/155F	West Drayton	Former RAF - Porters Way, West Drayton 5107/APP/2005/2082	20,000.00	20,000.00	17,459.60	17,459.60	0.00	2,540.40	0.00	Funds received towards the maintenance of play facilities at Stockley Recreation Ground (Mulberry Parade). £10,415 allocated towards costs incurred in maintaining the playground (Cabinet Member Decision 7/11/2012). Developer has agreed that the remaining balance can be retained and spent towards the continued maintenance of the play equipment (letter received June 2015). Spend towards maintaintence of the playground.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
E/69/246B	Botwell	561& 563 Uxbridge Road, Hayes. 63060/APP/2007/1385	20,175.83	20,175.83	18,410.35	18,410.35	0.00	1,765.48	0.00	Contribution received towards the cost of improving Rosedale Park which adjoins the land. No time limit on spend. Funds allocated towards improvements at Rosedale Park (Cabinet Member Decision 08/06/2016). Scheme completed August 2016. Invoices paid. Scheme to be closed.
E/76/276E	Townfield	Fmr Hayes FC, Church Road, Hayes. 4327/APP/2009/2737	199,656.76	199,656.76	141,131.52	141,131.52	0.00	58,525.24	0.00	First instalment (£64,740) of a contribution received towards improvements to local recreation and sports facilities within the vicinity of the land. Funds to be spent within 7 years of receipt (July 2019). £66,741 received as the second instalment towards the same purpose (spend July 2020). Final instalment £68,174 received (spend by Feb 2022). £145,156 allocated towards the refurbishment and relocation of the former Yiewsley bowls club house to Sipson Recreation Ground for use by Sipson Explorers (Cabinet Decision 21/06/2018). Scheme completed November 2018. Remaining balance £54,500 allocated towards refurbishment of the ball court at Barra Hall park (Cabinet Member Decision 20/02/2020).
E/80/249F	Townfield	Glenister Hall, 119 Minet Drive, Hayes 40169/APP/2011/243	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	0.00	Contribution received towards the provision and maintenance of junior football pitches/ refurbishment of cricket wicket at Grassy meadows (see agreement for details). No time limits.
E/84/297D	Heathrow Villages	Fmr Technicolor Site, 271 Bath Rd, Sipson. 35293/APP/1938	17,270.83	17,270.83	17,270.83	17,270.83	0.00	0.00	0.00	Funds received to be used by Hillingdon Council towards initiatives to improve air quality within LBH. Funds to be spent witihn 7 years of receipt (May 2020). Funds allocated towards implementation of the Borough Air Quality Action Plan (Cabinet Member Decision14/11/2018). Spend towards Long Lane Air Quality Focus Area studies.
E/85/300D	Townfield	Fmr Powergen Site, North Hyde Gardens, Hayes 13226/APP/2012/2185	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Contribution received to be used towards reducing emissions,tree & other planting,vehicle restrictions, use of cleaner fuels, environmental management and air quality strategy (see legal agreement for details). No time limits.
E/89/315C	Pinkwell	Asda Unit 3 Westlands Estate, Millington Rd, Hayes 32157/APP/2011/872	26,323.47	26,323.47	**26,317.62**	24,286.62	**2,031.00**	**5.85**	0.00	Contribution received as the "air quality contribution", to be used by the Council towards air quality monitoring in the Authority's area . No time limits for spend. Funds allocated towards the Borough's air quality monitoring network (Cabinet Member Decision 26/10/2016). **Further spend towards monitoring network.**
E/93/326	Pinkwell	Prologis Park, Stockley Road, Hayes 18399/APP/2013/3449	21,789.00	21,789.00	0.00	0.00	0.00	21,789.00	21,789.00	Contribution received as the "allowable solutions" (energy) contribution. Funds to be used towards local carbon emissions reduction initiatives in the London Borough of Hillingdon. No time limit for spend.
E/94/338B	Uxbridge South	37 St John's Road, Uxbridge 15811/APP/2012/2444	20,000.00	20,000.00	6,130.00	6,130.00	2,100.00	13,870.00	0.00	Contribution received towards the cost of environmental and ecological mitigation measure and enhancements at the Little Britain site of Metropolitan Importance for Nature Conservation as made necessary by the development. No time limits for spend. Funds allocated towards ecological improvements along The Culvert & Colne Valley Trail in Uxbridge (Cabinet Member Decision 11/12/2018). Spend towards vegetation & ditch clearance (Q1).
E/95/344D	South Uxbridge	Building 63, Phase 500, Riverside Way, Uxbridge 56862/APP/2014/170	25,000.00	25,000.00	25,000.00	25,000.00	0.00	0.00	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 5 years of receipt (July 2020). Funds allocated towards implementation of the Borough Air Quality Action Plan (Cabinet Member Decision14/11/2018). £4,148 spent towards St Andrews School Green Screening Project. Further spend towards evaluation of Air Quality Action Plan.
E/96/344E	South Uxbridge	Building 63, Phase 500, Riverside Way, Uxbridge 56862/APP/2014/170	5,750.00	5,750.00	5,670.00	5,670.00	5,670.00	80.00	0.00	Contribution received towards the maintenance of the footpath works as shown on a plan attached to the agreement. Funds to be spent within 5 years of receipt (July 2020). Funds allocated and spent towards footpath works at Uxbridge Moor (Cabinet Member Decision 17/02/2020).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
E/97/344F	South Uxbridge	Building 63, Phase 500, Riverside Way, Uxbridge 56862/APP/2014/170	5,000.00	5,000.00	4,784.00	4,784.00	1,784.00	216.00	0.00	Contribution received towards the cost of tree works to those trees sited in the adjoining nature reseve. Funds to be spent witihn 5 years of receipt (July 2020). Funds allocated towards tree works at Uxbridge Moor Nature Reserve (Cabinet Member Decision 24/11/2016). £3,000 spent towards tree works within the reserve 2016/17. Spend towards further tree works 2019/2020.
E/100/40H	Botwell	Land at Thorn EMI Complex (Old Vinyl Factory). 51588/APP/2000/1827 &5987/APP/2012/1838	25,361.47	25,361.47	**3,790.00**	510.00	**3,280.00**	**21,571.47**	0.00	Contribution received towards initiatives to improve air quality witihn the Authorit'ys area. Funds to be spent witihn 7 years of receipt (Nov 2022). Funds allocated towards implementation of the Borough Air Quality Action Plan (Cabinet Member Decision14/11/2018).
E/101/355D	Botwell	Formr EMI Site, Dawley Rd, Hayes 8294/APP/2015/1406	12,500.00	12,500.00	10,050.30	10,050.30	0.00	2,449.70	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy. Funds to be spent within 5 years of receipt (Nov 2022). Funds allocated and £10,050 spent towards a scheme of tree planting in the Borough (Cabinet Member Decision 05/04/2017). Remaining balance reallocated towards tree planting initiative for borough residents (Cabinet Member Decision 18/10/2019).
E/102/360B	Heathrow Villages	Fmr Unitair Centre, Great South West Rd, Feltham, 49559/APP/2014/334	26,000.00	26,000.00	0.00	0.00	0.00	26,000.00	26,000.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/103/359D	Yiewsley	26-36 Horton Rd, Yiewsley 3507/APP/2013/2327	12,625.00	12,625.00	0.00	0.00	0.00	12,625.00	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (Jan 2023). Funds allocated towards the Schools Green Screening Project (Cabinet Member Decision 20/03/2020).
E/104/371C	Heathrow Villages	272-276 Bath Rd, Hayes 464/APP/2014/2886	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/105/378B	Townfield	Hayes Gate House, Uxbridge Road, Hayes 2385/APP/2013/2523	12,625.00	12,625.00	12,625.00	12,625.00	0.00	0.00	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 5 years of receipt (Jan 2021). Funds allocated towards street tree planting and support for the Hillingdon air text pollution alert service (Cabinet Member Decision 04/04/2018). £2,000 spent towards the air text service 2017/18. £8,073 spent this quarter towards street tree planting in the Borough. Remaining balance allocated and spent towards Street Tree Planting programme 2018/19 (Cabinet Member Decision 13/03/2019).
E/106/732C	Yiewsley	Phase 3, Stockley Park, Stockley Road. 37977/APP/2015/1004	50,000.00	50,000.00	30,000.00	30,000.00	0.00	20,000.00	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (Jan 2023). Funds allocated and £20k spent towards expert support for Borough AQA Plan (Cabinet Member Decision 20/03/2020).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
E/109/382E	West Drayton	Kitchener House, Warwick Rd, West Drayton. 182118/APP/2013/2183	12,500.00	12,500.00	0.00	0.00	0.00	12,500.00	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 10 year of receipt (April 2023). Funds allocated towards the Schools Green Screening Project (Cabinet Member Decision 20/03/2020)
E/110/384E	Yiewsley	Caxton House, Trout Road, Yiewsley. 3678/APP/2013/3637	25,508.01	25,508.01	0.00	0.00	0.00	25,508.01	25,508.01	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limits for spend.
E/112/382	Brunel	82A-86 Pield Heath Road, Hillingdon. 70060/APP/2014/2070	1,000.00	1,000.00	330.76	330.76	0.00	669.24	0.00	Contribution to be used to plant and maintain an appropriate tree within the landscaping enhancement area described in the agreement. No time limits for spend. Funds allocated toward a suitable scheme (Cabinet Member Decision 24/11/2016). Tree planted spring 2019.
E/113/393	West Drayton	Land West of Laurel Lane (Laurel Lane School), West Drayton. 70019/APP/ 2014/1807	5,000.00	5,000.00	3,153.89	3,153.89	500.00	1,846.11	0.00	Funds received as the tree planting and landscape improvement contribution, to be used towards the cost of landscaping works to The Closes Recreation Ground (see agreement for details). No time limits for spend. Funds allocated towards landscape enhancements at The Closes Recreation Ground (Cabinet Member Decision 11/12/2018). Spend towards tree planting and wildflower meadow.
E/114/390C	West Drayton	Former Angler's Retreat PH, Cricketfield Road, West Drayton 11981/APP/2013/3307	12,937.65	12,937.65	10,342.57	10,342.57	0.00	2,595.08	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 5 years of receipt (Sept 2021). Funds allocated towards implementation of the Borough Air Quality Action Plan (Cabinet Member Decision14/11/2018). Spend towards Long Lane Air Quality Focus Area Study.
E/115/394B	Yiewsley	Padcroft Works, Tavistock Road,Yiewsley. 45200/APP/2014/3638	25,375.72	25,375.72	0.00	0.00	0.00	25,375.72	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (Oct 2023). Funds allocated towards the Schools Green Screening Project (Cabinet Member Decision 20/03/2020).
E/116/345C	Uxbridge South	Charter Place, Vine Street, Uxbridge. 30675/APP/2014/1345	81,000.00	81,000.00	0.00	0.00	0.00	81,000.00	81,000.00	Funds received as an off-site contribution to be used by the Council towards reducing carbon emissions within the London Borough of Hillingdon. Funds to be spent within 5 years of receipt (Oct 2021).
E/117/398C	Heathrow Villages	Building 717, Located Between Sheffield Way & Southern Perimeter Road 50657/APP/2013/2214	25,000.00	25,000.00	16,824.14	16,824.14	9,785.81	8,175.86	0.00	Funds received towards initiatives to improve air quality within the Authority's area. Funds to be spent within 5 years of receipt (Nov 2021). £7,038 allocated and spent towards Street Tree Planting Programme 2018/19 (Cabinet Member Decision 13/03/2019). £10,000 allocated towards the installation of electric charging points for ice cream vans at Ruislip Lido (Cabinet Member Decision 29/11/2019). £7,962 allocated towards provision of Borough Air Quality Tracker (Cabinet Member Decision 20/03/2020).
E/118/399C	Townfield	Unit A Bulls Bridge Centre, North Hyde Gardens, Hayes. 13226/APP/2015/4623	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
E/119/402D	Yiewsley	21 High St, Yiewsley 26628/APP/2014/675	28,275.36	28,275.36	0.00	0.00	0.00	28,275.36	28,275.36	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/120/403C	Botwell	Fmr Hayes Swimming Pool, Botwell Lane, Hayes (Lidl) 1942/APP/2015/4127	9,900.00	9,900.00	0.00	0.00	0.00	9,900.00	9,900.00	Funds received to be used by the Council towards off site carbon reduction measures, schemes and initiatives to mitigate the development. No time limits for spend.
E/121/404E	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	27,888.66	27,888.66	0.00	0.00	0.00	27,888.66	27,888.66	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (April 2024).
E/123/242J	West Drayton	Fmr NATs Site, Drayton Garden Village, Porters Way, West Drayton 5107/APP/2009/2348	488,493.68	488,493.68	488,493.68	488,493.68	0.00	0.00	0.00	Funds received as the "indoor/outdoor sport & recreation contribution ", to be used by the Council towards the provision of indoor & outdoor sports and recreation facilities within the Authority's area. No time limits for spend. Funds spent towards the Yiewsley & West Drayton Leisure Centre project, as part of end of year closing of accounts. Spend subject to formal allocation approval.
E/125/409D	Heathrow Villages	Fmr Contractor's Compound, South of Swindon Road, Heathrow Airport 67622/APP/2013/2532 & 67622/APP2015/1651	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	0.00	Contribution received to be used towards initiatives to improve air quality within the Authority's area. Funds to be spent within 5 years of receipt (Dec 2023). Funds allocated towards expert technical support for AQA (Cabinet Member Decision 20/03/2020).
E/126/412B	Botwell	Enterprise House, 133 Blyth Road, Hayes 11623/APP/2013/3606	26,546.69	26,546.69	0.00	0.00	0.00	26,546.69	26,546.69	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/127/283G	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge. 585/ APP/ 2009/2752	317,775.00	317,775.00	134,476.50	134,476.50	0.00	183,298.50	0.00	Funds received as 25% of the district park maintenance contribution . Funds to be spent within 10 years of receipt (Dec 2027). Remaining 75% of the maintenance contribution received Q2. Contribution allocated towards maintenance costs associated with Dowding Park (Cabinet Member Decision 27/02/2019). £73,377 spent 2018/19. £61,099.50 spent towards park maintenance 2019/20.
E/129/415C	West Drayton	West Drayton Police Station, Station Road, West Drayton 12768/APP/2016/1580 & 12768/APP/2014/1870	12,500.00	12,500.00	0.00	0.00	0.00	12,500.00	12,500.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/130/418C	Botwell	20-30 Blyth Road, Hayes 1425/APP/2011/3040	10,720.34	10,720.34	**9,640.00**	0.00	**9,640.00**	**1,080.34**	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent witihn 7 years of receipt (May 2025). **Funds allocated towards the installation of electric charging points for ice cream vans at Ruislip Lido (Cabinet Member Decision 30/06/2020).**
E/131/420D	Townfield	Fmr Kings Arms PH, 109 Coldharbour Lane, Hayes 10954/APP/2011/1997	14,012.23	14,012.23	0.00	0.00	0.00	14,012.23	14,012.23	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limits.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
E/132/419D	Heathrow Villages	Cessna Road, Terminal 2, Heathrow Airport 62360/APP/2015/4277	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	0.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of receipt (August 2025). Funds allocated towards implementation of the Council's Air Quality Action Plan. (Cabinet Member Decision 30/06/2020).
E/133/423C	Heathrow Villages	1 Nobel Drive, Harlington, Hayes 46214/APP/2014/2827	20,755.73	20,755.73	0.00	0.00	0.00	20,755.73	20,755.73	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limits.
E/134/424B	Yiewsley	Land at Onslow Mills, Trout Road, West Drayton 1724/APP/2016/3513	12,871.38	12,871.38	0.00	0.00	0.00	12,871.38	12,871.38	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limits.
E/135/425D	Yiewsley	Land rear of 2-24 Horton Road, West Drayton 71582/APP/2016/4582	33,451.39	33,451.39	0.00	0.00	0.00	33,451.39	7,171.39	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent witihn 7 years of receipt (Dec 2025). Indexation received Q4 18/19. £26,280 allocated towards implementation of the Council's Air Quality Action Plan. (Cabinet Member Decision 30/06/2020).
E/136/430C	Uxbridge South	Randalls 7-9 Vine St, Uxbridge 41309/APP/2016/3391	13,146.71	13,146.71	0.00	0.00	0.00	13,146.71	13,146.71	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/137433B	Heathrow Villages	Renaissance London Heathrow Hotel, Bath Road 12004/APP/2018/2720	12,500.00	12,500.00	0.00	0.00	0.00	12,500.00	12,500.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
E/138/429F	Botwell	Fmr Nestle Factory, Nestles Avenue, Hayes 1331/APP/2017/1883	288,873.79	288,873.79	0.00	0.00	0.00	288,873.79	288,873.79	Funds received as the "Cranford Park Improvement Contribution" to be used towards the improvement of the historic Cranford park grounds in the vicinity of the development. Funds to be spent within 10 years of receipt (March 2029.)
E/139/372D	Yiewsley	Phase 3, Stockley Park, Stockley Road. 37977/APP/2015/1004	**175,000.00**	**150,000.00**	0.00	0.00	0.00	**175,000.00**	**175,000.00**	Funds received to be used by the Council towards landscaping improvements or flood attentuation works to Packet Boat Lane . Land parcel shown on plan attached to the agreement. **£25k received this quarter towards ongoing management & maintenance of the land.**
E/140/434B	Botwell	30-32 Blyth Road, Hayes 68974/APP/2018/2146	87,500.00	87,500.00	0.00	0.00	0.00	87,500.00	87,500.00	Funds received as the first of two instalments towards footpath improvements at Lake Farm Country Park and the provision of new site signage and way finding in the Authority's area. Funds to be spent within 7 years of receipt (April 2026).
E/141/434C	Botwell	30-32 Blyth Road, Hayes 68974/APP/2018/2146	22,958.50	22,958.50	0.00	0.00	0.00	22,958.50	22,958.50	Funds received as the first of two instalments to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 7 years of

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
E/142/441C	Uxbridge North	297 Long Lane, Hillingdon 4860/APP/2018/3719	40,037.10	40,037.10	0.00	0.00	0.00	40,037.10	40,037.10	Contribution received to be used by the Council towards initiatives to improve air quality in the Authority's Area. Funds to be spent within 7 years of receipt (December 2026)
E/143/449B	West Drayton	5 Station Road, West Drayton 65480/APP/2014/1018	14,735.38	14,735.38	0.00	0.00	0.00	14,735.38	14,735.38	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details).No time limits for spend.
E/146/552A	Uxbridge North	Uxbridge College, Park Road, Uxbridge 1127/APP/2018/4375	30,000.00	30,000.00	0.00	0.00	0.00	30,000.00	30,000.00	Funds received as the construction & water management contribution to be used by the Council towards the construction and ongoing maintenance of offsite surface water management improvements associated with the watercourse between the site & the River Pinn on Council land. Funds to be spent within 7 years of receipt (May 2027).
E/148/372E	**Yiewsley**	**Phase 3, Stockley Park, Stockley Road (Parcel A). 37977/APP/2015/1004**	**214,000.00**	**0.00**	**0.00**	**0.00**	**0.00**	**214,000.00**	**214,000.00**	**Funds received to be used by the Council towards on going management & maintenance of land on the east side of West Drayton Road, Uxbridge (land parcel A). Land shown on plan attached to the agreement.**
E/149/372F	**Yiewsley**	**Phase 3, Stockley Park, Stockley Road (Parcel B). 37977/APP/2015/1004**	**31,100.00**	**0.00**	**0.00**	**0.00**	**0.00**	**31,100.00**	**31,100.00**	**Funds received to be used by the Council towards on going management & maintenance of land to the west of Dawley Road, Hayes (land parcel B). Land shown on plan attached to the agreement.**
E/150/372G	**Yiewsley**	**Phase 3, Stockley Park, Stockley Road (Parcel C1). 37977/APP/2015/1004**	**40,500.00**	**0.00**	**0.00**	**0.00**	**0.00**	**40,500.00**	**40,500.00**	**Funds received to be used by the Council towards on going management & maintenance of land to the west of Dawley Road, Hayes (land parcel C1). Land shown on plan attached to the agreement.**
		FINANCE PROPERTY & BUSINESS SERVICES SUB -TOTAL	**2,915,947.90**	**2,605,347.90**	**1,045,590.11**	**1,030,639.11**	**34,790.81**	**1,870,357.79**	**1,359,569.93**	
PORTFOLIO: SOCIAL CARE, HEALTH & WELLBEING										
H13/194E *59	Uxbridge	Frays Adult Education Centre, Harefield Road, Uxbridge. 18732/APP/2006/1217	12,426.75	12,426.75	0.00	0.00	0.00	12,426.75	0.00	Funds received towards the provision of healthcare facilities in the Borough. No time limits.
H/18/219C *70	Yeading	Land rear of Sydney Court, Perth Avenue, Hayes. 6593/6APP/2009/2629	3,902.00	3,902.00	0.00	0.00	0.00	3,902.00	0.00	Funds received towards the cost of providing health facilites in the Authorities Area. No time limits. £1,800 earmarked towards conversion of existing office space to an additional consulting room at the Pine Surgery, Hayes, subject to formal approval.
H/27/262D *80	Charville	Former Hayes End Library, Uxbridge Road, Hayes. 9301/APP/2010/2231	5,233.36	5,233.36	0.00	0.00	0.00	5,233.36	0.00	Funds received towards the cost of providing health facilities in the Authority's area including the expansion of health premises to provide additional facilities, new health premises or services (see legal agreement for details). No time limit for spend.
H/30/276G *85	Townfield	Fmr Hayes FC, Church Road, Hayes. 4327/APP/2009/2737	104,319.06	104,319.06	68,698.26	68,698.26	0.00	35,620.80	0.00	First instalment of a contribution (£33,826) received towards the cost of providing health facilities in the Authority's area including the expansion of health premises to provide additional facilities, new health premises or services (see legal agreement for details). Funds to be spent within 7 years of receipt (July 2019). £34,871 received as the second instalment towards the same purpose (spend July 2020). £68,698.86 allocated towards phases 2-5 of the HESA extension (Cabinet Member Decision 4/12/2014). Final instalment (£35,620.80) received this quarter (spend by Feb 2022). £68,698.86 transferred to NHS Property Services 24/02/2015.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
H/39/304C *97	Yeading	Fmr Tasman House, 111 Maple Road, Hayes 38097/APP/2012/3168	6,448.10	6,448.10	**6,448.10**	0.00	**6,448.10**	**0.00**	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to be spent within 7 years of receipt (August 2020). **Funds allocated towards expansion of clinical space at Harefield Health Centre (Cabinet Member Decision 14/08/2020). Contribution transferred to NHS Property Services (Q2).**
H/42/242G *100	West Drayton	West Drayton Garden Village (north site) off Porters Way, West Drayton. 5107/APP/2009/2348	337,574.00	337,574.00	0.00	0.00	0.00	337,574.00	0.00	Contribution received towards providing additional primary health care facilities in the West Drayton area including; expansion of existing premises to provide additional facilities and services to meet increased patient numbers, new health premises on the land or in the local area (see agreement for details). No time lmits.
H/47/329E *106	Townfield	Land at Pronto Industrial Estate, 585-591 Uxbridge Road, Hayes 4404/APP/2013/1650 4404/APP/2008/3558	14,066.23	14,066.23	0.00	0.00	0.00	14,066.23	0.00	Contribution received towards the cost of providing healthcare facilities in the London Borough of Hillingdon. Funds to be spent within 10 years of receipt (July 2024).
H/49/283B *108	Uxbridge North	Former RAF Uxbridge, Hillingdon Road, Uxbridge 585/APP/2009/2752	624,507.94	624,507.94	177,358.31	177,358.31	0.00	447,149.63	0.00	Contribution received towards the provison of healthcare facilities serving the development, in line with the S106 Planning Obligations SPD 2008. Funds to be spent within 10 years of receipt (August 2024). £177,358 from this contribution is allocated towards capacity improvements at Uxbridge Health Centre (Cabinet Member Decision 12/06/2015). Funds transferred to HCCG (July 2015).
H/50/333F *109	Yiewsley	39 High street, Yiewsley 24485/APP/2013/138	12,444.41	12,444.41	0.00	0.00	0.00	12,444.41	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits.
H/55/347D *114	North Uxbridge	Honeycroft Day Centre, Honeycroft Hill, Uxbridge 6046/APP/2013/1834	12,162.78	12,162.78	0.00	0.00	0.00	12,162.78	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to spent/committed within 7 years of receipt (May 2022).
H/58/348B *117	Uxbridge North	Lancaster & Hermitage Centre, Lancaster Road, Uxbridge. 68164/APP/2011/2711	7,587.72	7,587.72	0.00	0.00	0.00	7,587.72	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
H/59/356E *120	Yiewsley	Packet Boat House, Packet Boat Lane, Cowley 20545/APP/2012/2848	14,997.03	14,997.03	0.00	0.00	0.00	14,997.03	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to be spent within 5 years of completion (June 2022).
H/60/359E *121	Yiewsley	26-36 Horton Rd, Yiewsley 3507/APP/2013/2327	25,291.09	25,291.09	23,599.93	23,599.93	0.00	1,691.16	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Spend within 7 years of receipt (Jan 2023). £23,559 allocated towards improvements to Yiewsley Health Centre (Cabinet Member Decision 17/01/ 2018). Funds transferred to NHS Property Services Feb 2018
H/61/382F *128	West Drayton	Kitchener House, Warwick Rd, West Drayton. 18218/APP/2013/2183	8,872.64	8,872.64	0.00	0.00	0.00	8,872.64	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Spend within 10 years of receipt (April 2026).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
H/62/384F *129	Yiewsley	Caxton House, Trout Road, Yiewsley. 3678/APP/2013/3637	15,482.07	15,482.07	0.00	0.00	0.00	15,482.07	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits for spend.
H/64/387E *136	Uxbridge North	Norwich Union House, 1-3 Bakers Road, Uxbridge 8218/APP/2011/1853	15,518.40	15,518.40	0.00	0.00	0.00	15,518.40	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Spend within 7 years of receipt (September 2023).
H/67/402E *142	Yiewsley	21 High St, Yiewsley 26628/APP/2014/675	18,799.72	18,799.72	0.00	0.00	0.00	18,799.72	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits for spend.
H/69/404F *143	Botwell	The Gatefold Building, land east of the former EMI site, Blyth Rd, Hayes 51588/APP/2011/2253	60,541.81	60,541.81	0.00	0.00	0.00	60,541.81	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Fund to be spent within 7 years of receipt (April 2024). £20,304 received March 2018 as the second instalment. £20,852.32 received as third and final instalment.
H/70/40M *146	Botwell	Old Vinyl Factory (Boiler House & Materials Store), Blyth Rd, Hayes. 59872/APP/2012/1838 & 59872/APP/2013/3775	81,329.25	81,329.25	0.00	0.00	0.00	81,329.25	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Fund to be spent within 7 years of receipt (July 2024).
H/73/420E *158	Townfield	Fmr Kings Arms PH, 109 Coldharbour Lane, Hayes 10954/APP/2011/1997	8,991.50	8,991.50	0.00	0.00	0.00	8,991.50	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits for spend.
		SOCIAL CARE HEALTH & WELLBEING SUB-TOTAL	**1,390,495.86**	**1,390,495.86**	**276,104.60**	**269,656.50**	**6,448.10**	**1,114,391.26**	**0.00**	
PORTFOLIO: HOUSING & ENVIRONMENT										
H/56/348A	North Uxbridge	Lancaster & Hemitage Centre, Lancaster Road, Uxbridge. 68164/APP/2011/2711	390,564.64	390,564.64	0.00	0.00	0.00	390,564.64	390,564.64	Contribution received to be used by the Council to provide subsidised housing available through a Registered Social Landlord to persons who cannot afford to rent or buy houses generally available on the open market. No time limits for spend. Index linking received.
H/65/387F	Uxbridge North	Norwich Union House, 1-3 Bakers Road, Uxbridge 8218/APP/2011/1853	170,545.32	170,545.32	0.00	0.00	0.00	170,545.32	170,545.32	Contribution received towards subsidised housing available through a Registered Provider to persons who cannot afford to rent or buy houses generally available on the open market. Funds to be spent within 7 years of receipt (September 2023).
H/68/329F	Townfield	Pronto Industrial Estate, 585-591 Uxbridge Rd, Hayes 4404/APP/2014/2206	120,793.95	120,793.95	0.00	0.00	0.00	120,793.95	120,793.95	Funds received towards the provision of affordable housing in the Authority's area. No time limits for spend.
H/74/284D	Yiewsley	Fmr Honeywell Site, Trout Road, West Drayton 335/APP/2010/1615	60,000.00	60,000.00	0.00	0.00	0.00	60,000.00	60,000.00	Funds received towards the cost of providing affordable housing within the Authority's area. No time limit for spend.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
H/75/382G	West Drayton	Kitchener House, Warwick Rd, West Drayton. 18218/APP/2013/2183	25,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	Funds received as the affordable housing contribution to be spent towards the cost of providing affordable housing in the Local Authority's area. Funds to be spent within 10 years of receipt (Nov 2028).
H/77/430D	Uxbridge South	Randalls 7-9 Vine St, Uxbridge 41309/APP/2016/3391	210,347.38	210,347.38	0.00	0.00	0.00	210,347.38	210,347.38	Funds received as the affordable housing commuted sum to be spent towards the off-site provision of affordable housing in the Authority's area. No time limit for spend.
H/78/441D	Uxbridge North	297 Long Lane, Hillingdon 4860/APP/2018/3719	222,669.99	222,669.99	0.00	0.00	0.00	222,669.99	222,669.99	Funds received as the "affordable housing contribution" to be used by the Council towards off-site provision of affordable housing in the Authority's area. Funds to be spent within 7 years of receipt (December 2026).
H/79/448A	Uxbridge North	Securitas House (Formerly Lovell House) High Street, Uxbridge 32215/APP/2018/501	103,604.83	103,604.83	0.00	0.00	0.00	103,604.83	103,604.83	Funds received towards the provison of affordable housing in the Authority's Area. No time limit for spend.
H/80/284E	Yiewsley	Fmr Honeywell Site, Trout Road, West Drayton 335/APP/2010/1615	54,400.00	54,400.00	0.00	0.00	0.00	54,400.00	54,400.00	Funds received towards the cost of providing affordable housing within the Authority's area. No time limit for spend.
		HOUSING & ENVIRONMENT SUB-TOTAL	**1,357,926.11**	**1,357,926.11**	**0.00**	**0.00**	**0.00**	**1,357,926.11**	**1,357,926.11**	
		GRAND TOTAL OF ALL SCHEMES	**26,640,569.72**	**26,307,238.71**	**14,148,006.35**	**13,955,251.20**	**318,637.97**	**12,492,563.37**	**6,371,461.65**	

The balance of funds remaining must be spent on works as set out in each individual agreement.
Bold and strike-through text indicates key changes since the Cabinet report for the previous quarter's figures.
Bold figures indicate changes in income and expenditure
Income figures for schemes within shaded cells indicate where funds are held in interest bearing accounts.
* Denotes funds the Council is unable to spend currently totals £2.764,420.17

*2: PT/05	£359,328.06	is restricted to public transport serving London Heathrow and subject to approval from BAA and bus operators.
*18: PT278/34	£194,910.65	includes a returnable security deposit for the highway works (to be later refunded) plus interest.
*20: PT278/44	£20,938.04	includes a returnable security deposit for the highway works (to be later refunded) plus interest.
*22: PT278/30	£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded)
*23: PT278/49	£22,108.66	includes a returnable security deposit for the highway works (to be later refunded) plus interest and funds for TfL costs.
*24: PT/25	£7,425.09	reasonable period' for expenditure has lapsed. Balance to be returned
*46:PT/88/140F	£10,000.00	there has not been any petitions for parking schemes in the area.
*51:PT278/62/149A	£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).
*52:PT/278/65	£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).
*59:H13/194E	£12,426.75	funds have been received to provide health care services in the borough.
*60:PT/278/76	£5,000.00	is to be held as a returnable security deposit for highway works (to be later refunded)
*61:PT/110/198B	£14,240.00	is to be held has a returnable deposit for the implementation of the travel plan (to be later refunded)
*70:H/18/219C	£3,902.00	funds have been received to provide Health Care services in the borough.
*80:H/27/262D	£5,233.36	funds have been received to provide Health Care services in the borough.
*82:PT/126/242D	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (later to be refunded)
*84:PT/278/81/249E	£4,000.00	funds received as a security deposit to ensure proper execution of works (to be refunded)
*85:H/30/276G	£35,620.80	funds received to provide health care facilities in the borough.
*87:PT/278/82/273A	£72,000.00	funds received as a security deposit to ensure proper execution of works (to be refunded)
*88:PT/132/149J	£15,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)
*90:PT/278/83/292	£31,500.00	funds to be held as a returnable deposit for highways works (to be later refunded).
*93:PT/278/85	£5,000.00	funds to be held as a returnable deposit for highways works (to be later refunded).
*100:H/42/242G	£337,574.00	funds received to provide health care facilities in the borough.
*102: PT/138/300B	£20,000.00	funds to be used towards TFL scheme at Bulls Bridge roundabout
*105: PT/148/327	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (later to be refunded)
*106: H/47/329E	£14,066.23	funds received to provide health care facilities in the borough.
*108: H/49/283B	£447,149.63	funds received to provide health care facilities in the borough.
*109: H/50/333F	£12,444.41	funds received to provide health care facilities in the borough.
*114: H55/347D	£12,162.78	funds received to provide health care facilities in the borough.
*117: H/58/348B	£7,587.72	funds received to provide health care facilities in the borough.
*118: PT/278/103/37	£51,234.86	is to be held as a returnable security deposit for the highway works (to be later refunded).
*119: PT/157/355A	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)
*120: H/59/356E	£14,997.03	funds received to provide health care facilities in the borough.
*121: H/60/359E	£1,691.16	funds received to provide health care facilities in the borough.
*123: PT/158/371A	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2020 / 2021 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at November 2020)
			AS AT 30/09/20	AS AT 30/06/20	AS AT 30/09/20	AS AT 30/06/20	To 30/09/20	AS AT 30/09/20	AS AT 30/09/20	
*124: PT/160/354C	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*125: PT/161/373	£8,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*126: PT/165/374B	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*127: PT/168/383A	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*128: H/61/382F	£8,872.64	funds received to provide health care facilities in the borough.								
*129: H/62/384F	£15,482.07	funds received to provide health care facilities in the borough.								
*132: PT/278/107/35	£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).								
*133: PT/278/108/37	£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).								
*134: PT/175/388	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*136: H/64/387E	£15,518.40	funds received to provide health care facilities in the borough.								
*138: PT/179/360C	£20,578.80	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*139: PT/181/395	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*140: PT/183/350E	£40,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*141: PT/187/403A	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*142: H67/402E	£18,799.72	funds received to provide health care facilities in the borough.								
*143: H/69/404E	£60,541.81	funds received to provide health care facilities in the borough.								
*144:PT/278/109/40	£135,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).								
*145:PT/191/396C	£40,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*146:H/70/40M	£81,329.25	funds received to provide health care facilities in the borough.								
*147: PT/195/409A	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*148: PT/197/40N	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*150: PT/278/116	£11,544.73	is to be held as a returnable security deposit for the highway works (to be later refunded).								
*151: PT/199	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*152: PT/201	£21,200.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*153: PT/202	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*154: PT/278/124	£1,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).								
*155: PT/278/125	£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).								
* 156: PT/203/400C	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*157: PT/204/419A	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*158: H/73/420E	£8,991.50	funds received to provide health care facilities in the borough.								
*159: PT/153/345B	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*160: PT/152/344B	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*161: PT/149/325C	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*162: PT/278/390F	£32,868.00	is to be held as a returnable security deposit for the highway works (to be later refunded).								
*163: PT/278/417B	£34,386.33	is to be held as a returnable security deposit for the highway works (to be later refunded).								
*164:PT/223/435A	£20,000.00	funds to be held as a returnable deposit for the implementation of the travel plan (to be later refunded)								
*165:PT/278/90	£5,000.00	is to be held as a returnable security deposit for the highway works (to be later refunded).								
*166: PT/278/135	£37,765.69	is to be held as a returnable security deposit for the highway works (to be later refunded).								
	£2,764,420.17									

STRICTLY NOT FOR PUBLICATION
Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Document is Restricted

This page is intentionally left blank

STRICTLY NOT FOR PUBLICATION
Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Document is Restricted

This page is intentionally left blank

STRICTLY NOT FOR PUBLICATION
Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Document is Restricted

This page is intentionally left blank

STRICTLY NOT FOR PUBLICATION
Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Document is Restricted

This page is intentionally left blank

Plans for Central & South Applications Planning Committee

Thursday 7th January 2021

HILLINGDON
LONDON

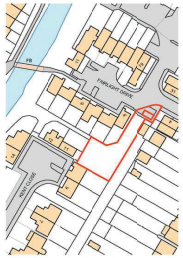
www.hillingdon.gov.uk

Report of the Head of Planning, Transportation and Regeneration

Address	LAND ADJACENT TO 10 KENT CLOSE & 5 FAIRLIGHT DRIVE KENT CLOSE UXBRIDGE
Development:	Outline application for a new dwelling with means of access, layout and parking to be determined
LBH Ref Nos:	75553/APP/2020/1357
Drawing Nos:	

EXISTING SITE - 1:200

PROPOSED SITE - 1:200



Ordnance Survey, (c) Crown Copyright 2020. All rights reserved. Licence number 100022432

LOCATION PLAN 1:1250

1:200 0 5m 10m 15m

1:100 0 2m 4m 6m 8m

Project
10 Kent Close
Uxbridge

Drawing
SITE LAYOUT FOR SINGLE DWELLING

Scale 1:200 & 1:100 Date 15.04.2020

PROGRESS PLANNING
Land & Development

Job No. 3028.KENT.101 Rev. - A1

Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

Land Adjacent to 10 Kent Close & 5 Fairlight Drive, Kent Close

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
75553/APP/2020/1357

Scale:
1:1,250

Planning Committee:
Central & South

Date:
January 2021

HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

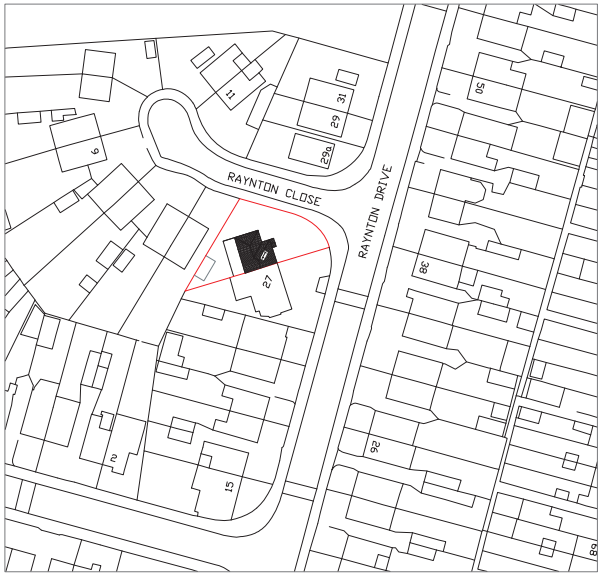
Address	1 RAYNTON CLOSE HAYES
Development:	Two storey side extension and single storey side/rear extension
LBH Ref Nos:	8096/APP/2020/3154

All work to comply with
current building regulations
and codes of practice

Do not scale from drawings
all dimensions to be checked
on site before the start of
any work

All Proposed External Materials to Match
Existing External Materials

Any Proposed Windows to Flank wall to be
Obscure Glazed and Non-Opening below
1.7m from FFL



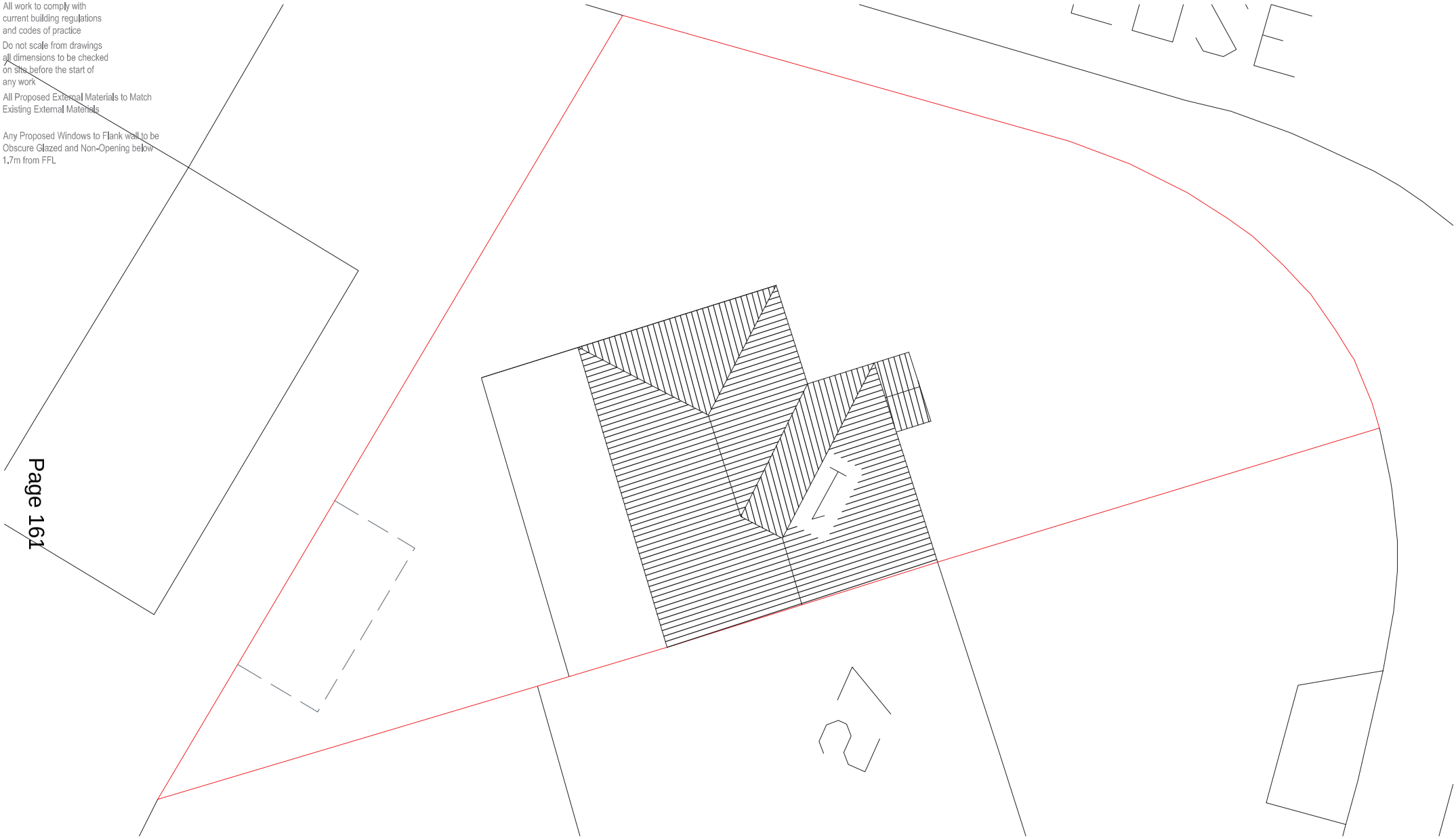
	Site Address:		Drawing Content:		Drawings No:		Date Drawn:		Planning Issue		
	1 Raynton Close Hayes Middlesex UB4 8BJ	1	Location Plan	2	1rayntonclose/2019/07A	3	2nd November 2019	5			7
					Drawings Scale:		Drawn By:		Revision:		
					1:1250	4	KG	6			8

All work to comply with current building regulations and codes of practice

Do not scale from drawings all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



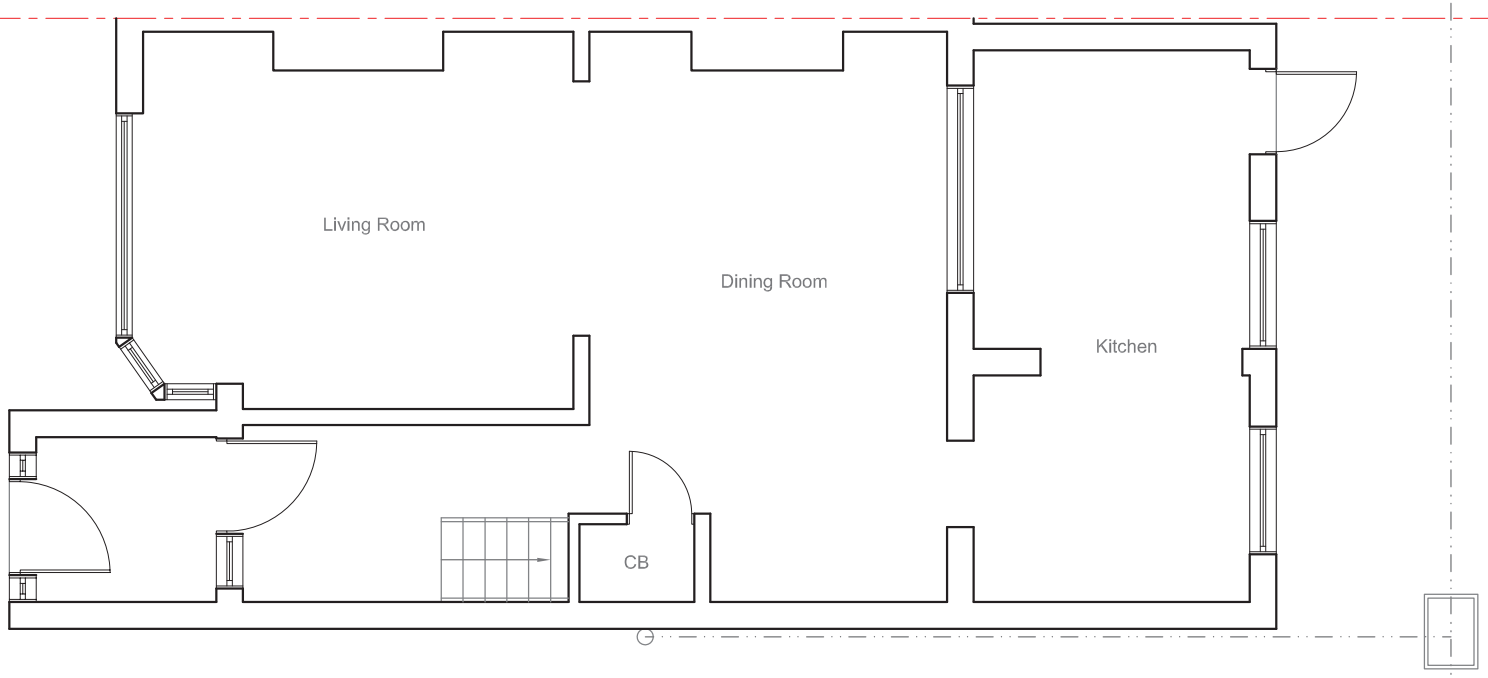
Site Address:	Drawing Content:	Drawings No:	Date Drawn:	Planning Issue
1 Rayntonclose Hayes Middlesex UB4 8BJ 1	Site Plan 2	1rayntonclose/2019/07 3	2nd November 2019 5	7
		Drawings Scale: 1:100 4	Drawn By: KG 6	Revision: 8

All work to comply with
current building regulations
and codes of practice

Do not scale from drawings
all dimensions to be checked
on site before the start of
any work

All Proposed External Materials to Match
Existing External Materials

Any Proposed Windows to Flank wall to be
Obscure Glazed and Non-Opening below
1.7m from FFL



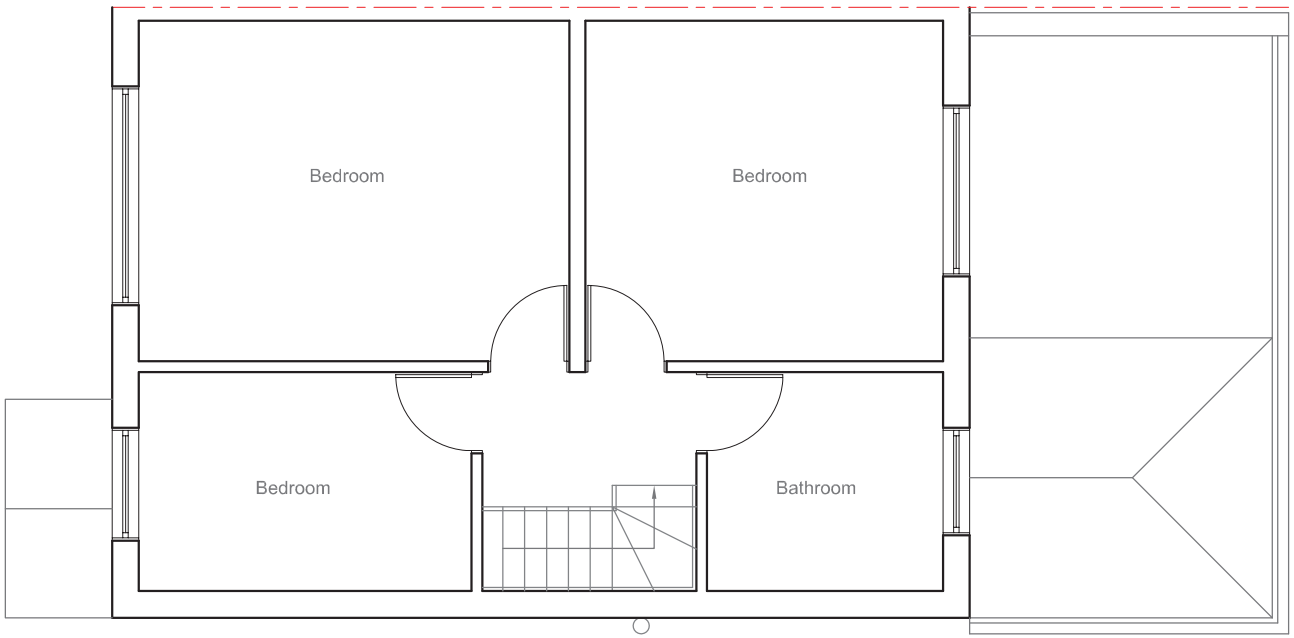
Site Address:	Drawing Content:	Drawings No:	Date Drawn:	Planning Issue
1 Rayton Close Hayes Middlesex UB4 8BJ 1	Existing Ground Floor Plan 2	1rayntonclose/2019/01 3	2nd November 2019 5	7
		Drawings Scale: 1:50 4	Drawn By: KG 6	Revision: 8

All work to comply with
current building regulations
and codes of practice

Do not scale from drawings
all dimensions to be checked
on site before the start of
any work

All Proposed External Materials to Match
Existing External Materials

Any Proposed Windows to Flank wall to be
Obscure Glazed and Non-Opening below
1.7m from FFL



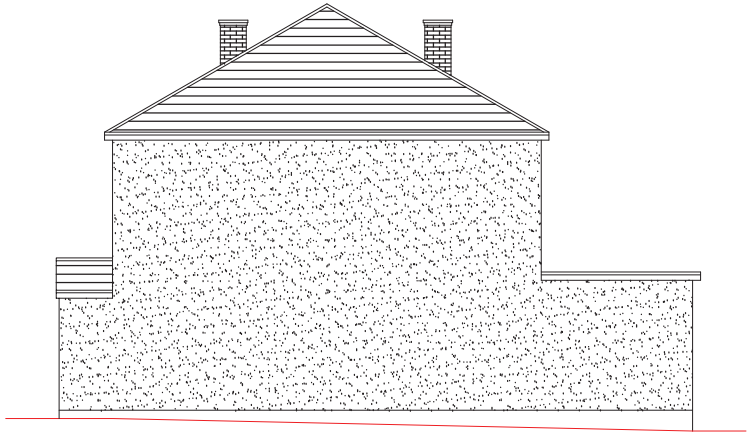
Site Address: 1 Raynton Close Hayes Middlesex UB4 8BJ 1	Drawing Content: Existing First Floor Plan 2	Drawings No: 1rayntonclose/2019/02 3 Drawings Scale: 1:50 4	Date Drawn: 2nd November 2019 5 Drawn By: KG 6	Planning Issue 7 Revision: 8

All work to comply with
current building regulations
and codes of practice

Do not scale from drawings
all dimensions to be checked
on site before the start of
any work

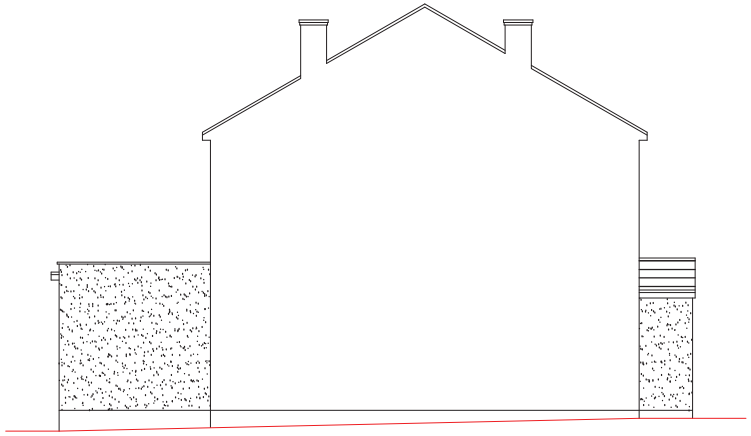
All Proposed External Materials to Match
Existing External Materials

Any Proposed Windows to Flank wall to be
Obscure Glazed and Non-Opening below
1.7m from FFL



Existing Side Elevation
Scale 1:100

Existing Rear Elevation
Scale 1:100



Existing Side Elevation
Scale 1:100

Existing Front Elevation
Scale 1:100

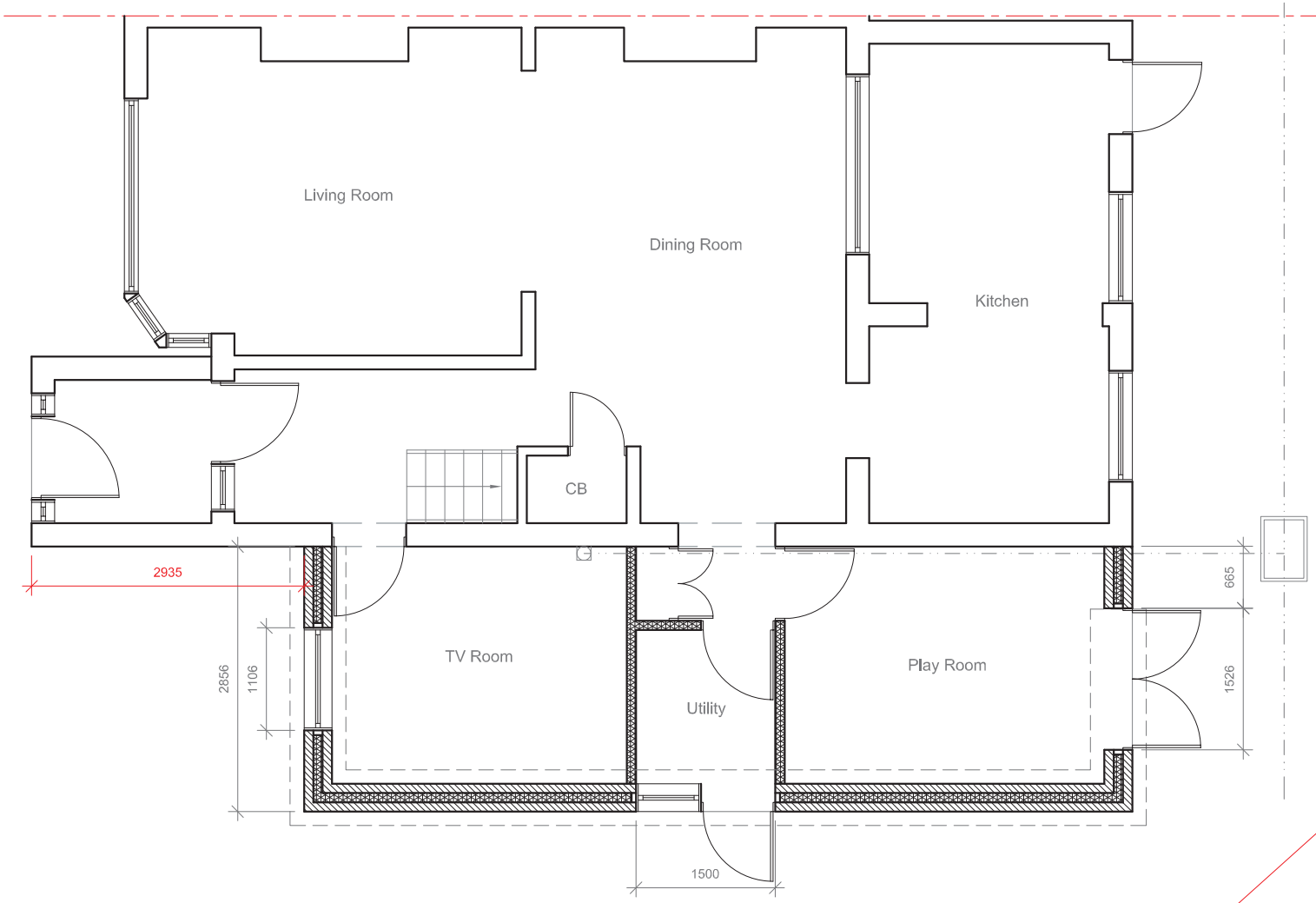
Site Address: 1 Raynton Close Hayes Middlesex UB4 8BJ 1	Drawing Content: Existing Elevations 2	Drawings No: 1rayntonclose/2019/02 3 Drawings Scale: 1:100 4	Date Drawn: 2nd November 2019 5 Drawn By: KG 6	Planning Issue 7 Revision: 8

All work to comply with current building regulations and codes of practice

Do not scale from drawings all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



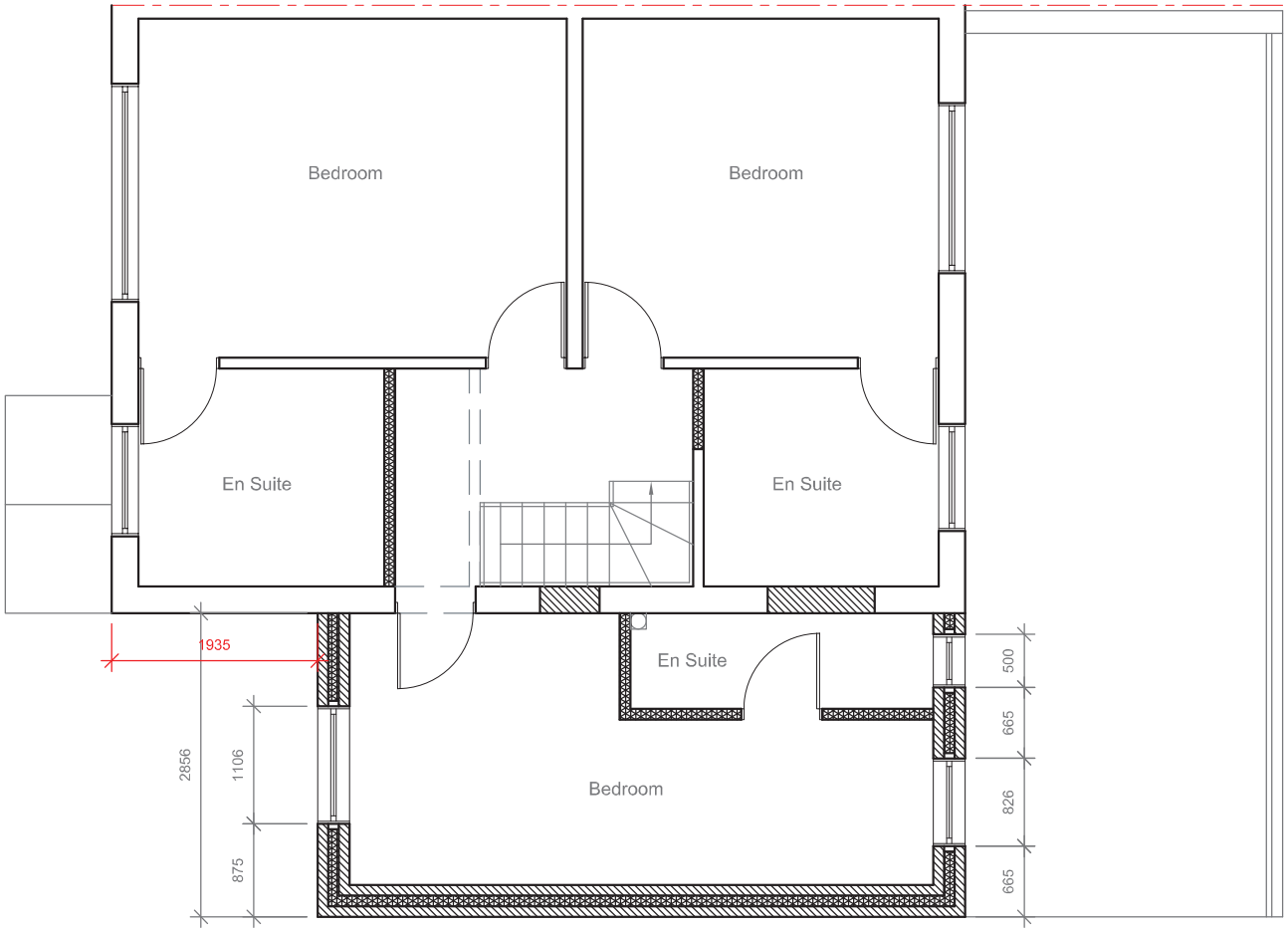
Site Address:	Drawing Content:	Drawings No:	Date Drawn:	Planning Issue
1 Rayntonclose Hayes Middlesex UB4 8BJ	Proposed Ground Floor Plan	1rayntonclose/2019/04	2nd November 2019	
		Drawings Scale:	Drawn By:	Revision:
		1:50	KG	

All work to comply with current building regulations and codes of practice

Do not scale from drawings all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



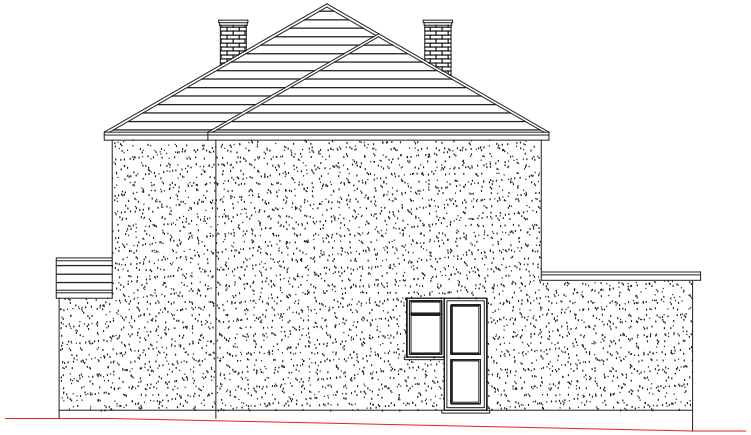
Site Address:	Drawing Content:	Drawings No:	Date Drawn:	Planning Issue
1 Rayntonclose Hayes Middlesex UB4 8BJ	Proposed First Floor Plan	1rayntonclose/2019/05	2nd November 2019	
		Drawings Scale:	Drawn By:	Revision:
		1:50	KG	

All work to comply with
current building regulations
and codes of practice

Do not scale from drawings
all dimensions to be checked
on site before the start of
any work

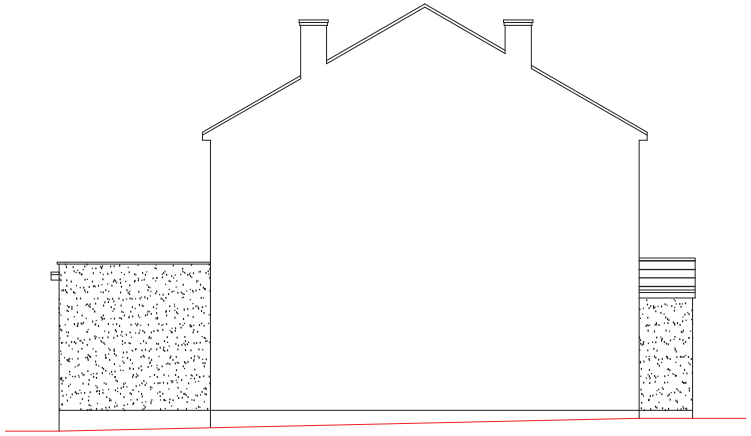
All Proposed External Materials to Match
Existing External Materials

Any Proposed Windows to Flank wall to be
Obscure Glazed and Non-Opening below
1.7m from FFL



Proposed Side Elevation
Scale 1:100

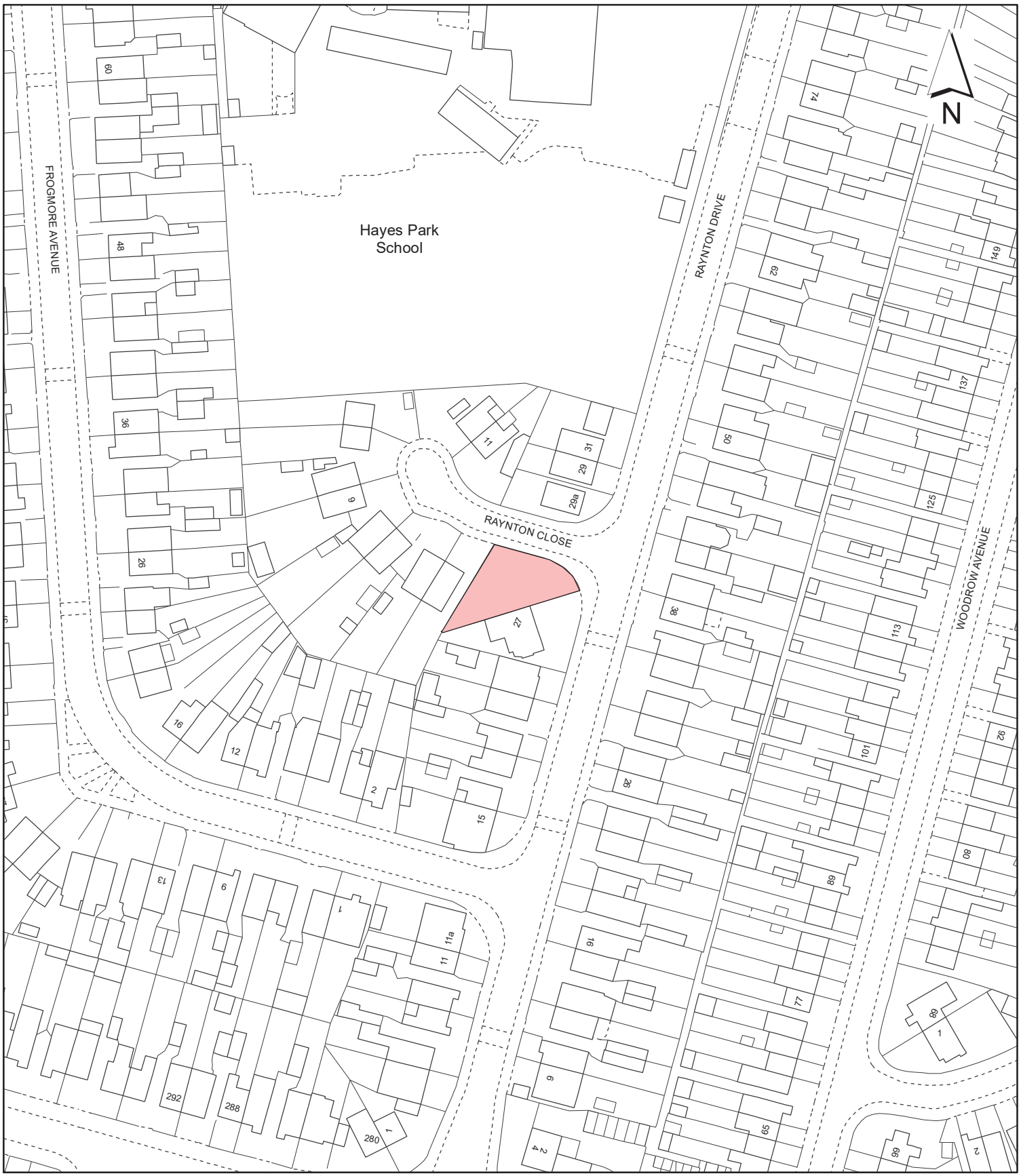
Proposed Rear Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100

Proposed Front Elevation
Scale 1:100

Site Address: 1 Raynton Close Hayes Middlesex UB4 8BJ 1	Drawing Content: Proposed Elevations 2	Drawings No: 1rayntonclose/2019/06 3	Date Drawn: 2nd November 2019 5	Planning Issue 7	
		Drawings Scale: 1:100 4	Drawn By: KG 6	Revision: 8	



Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

1 Raynton Close
Hayes

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
8096/APP/2020/3154

Scale:
1:1,250

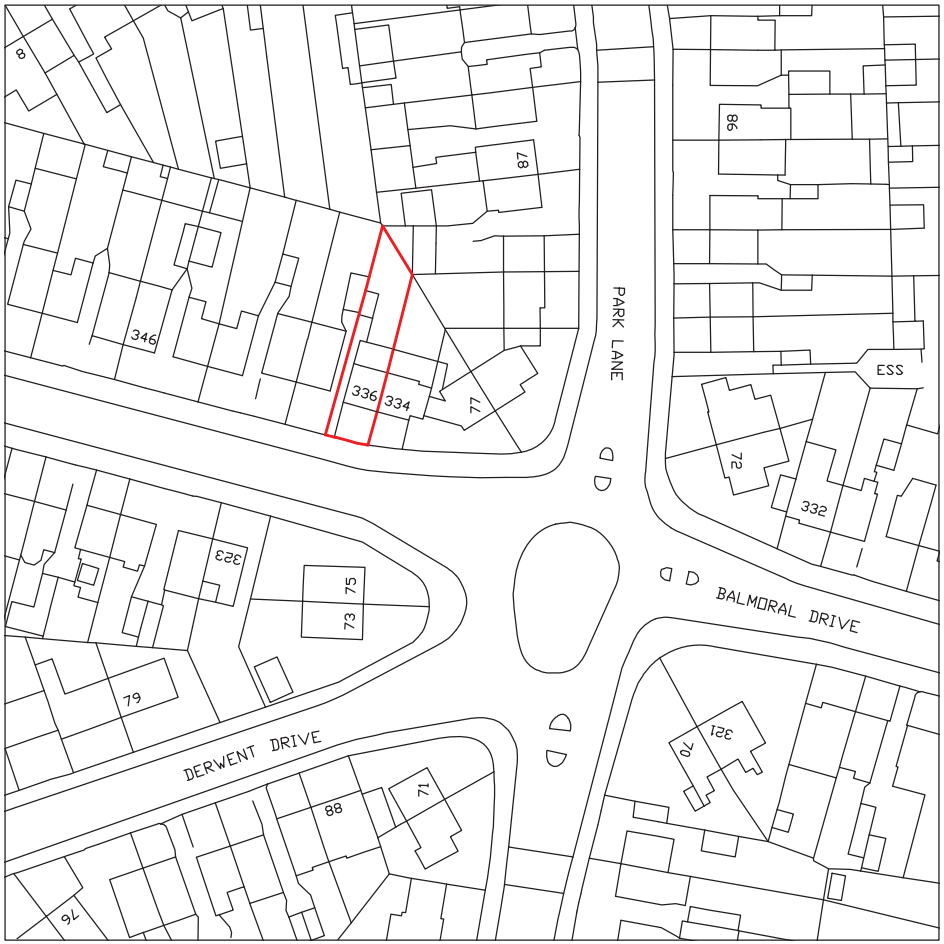
Planning Committee:
Central & South

Date:
January 2021

HILLINGDON
LONDON

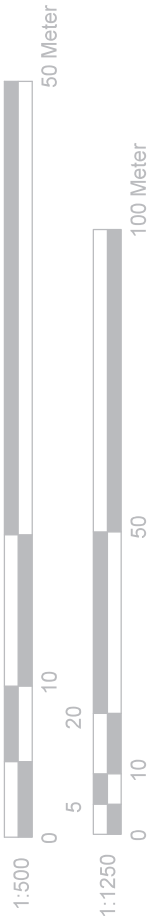
Report of the Head of Planning, Transportation and Regeneration

Address	336 BALMORAL DRIVE HAYES
Development:	Conversion of dwelling to 2 x 1-bed self-contained flats with associated parking and amenity space following demolition of existing outbuilding.
LBH Ref Nos:	71770/APP/2020/3572



Location Plan
Scale 1:1250

Block Plan
Scale 1:500



GENERAL NOTES:
1. ALL DIMENTIONS ARE IN MILLIMETER.
2. VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BUILDING OR STARTING CONSTRUCTION. NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCY OR VARIATION.
3. ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE

Title:

Location & Block Plans

N

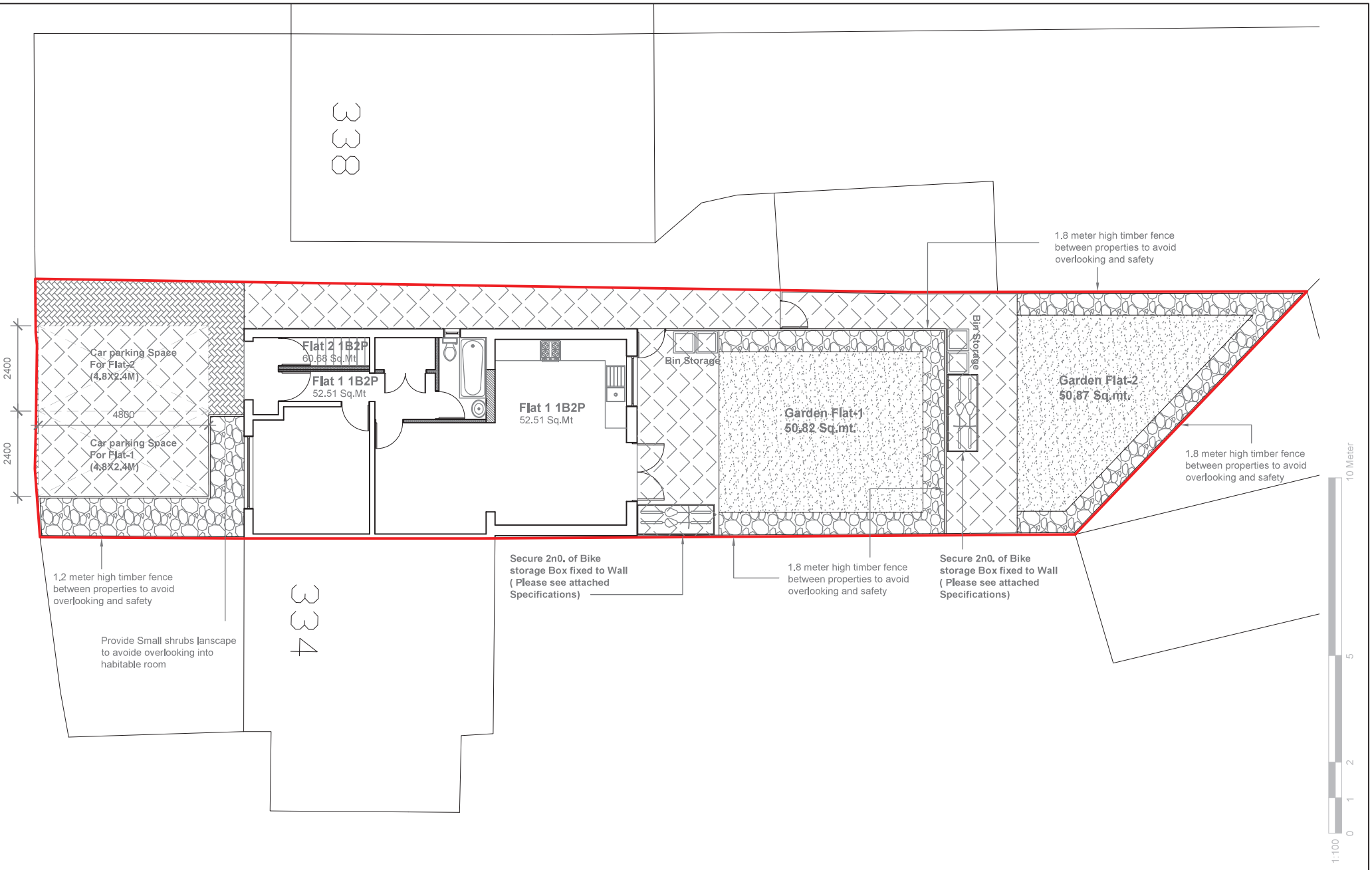
Site Address
336 Balmoral Drive
Hayes
Middlesex
UB4 8DL

Scale: 1:1250/500@A4
Date: 09/10/2020
Drawing No.: 2020/94 -06
Drawn By: FP

Revision Date:

e:mail - faluckpatel@yahoo.com
(M) +44 (0) 7871 466 254

Faluck Patel



Page 171

GENERAL NOTES:
1. ALL DIMENTIONS ARE IN MILLIMETER.
2. VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BUILDING OR STARTING CONSTRUCTION. NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCY OR VARIATION.
3. ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE

Title:

Site Plan

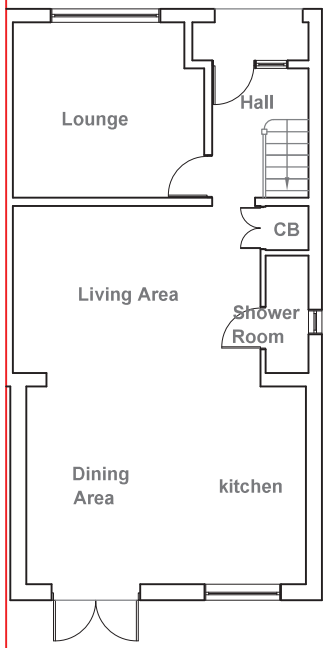
Site Address
336 Balmoral Drive
Hayes
Middlesex
UB4 8DL

Scale: 1:100 @A3
Date: 09/10/2020
Drawing No.: 2020/94 -05
Drawn By: FP

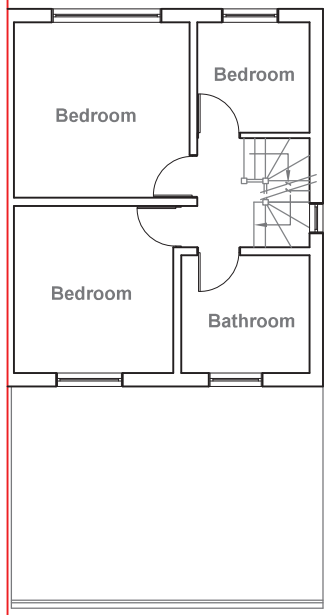
Revision Date:

e:mail - faluckpatel@yahoo.com
(M) +44 (0) 7871 466 254

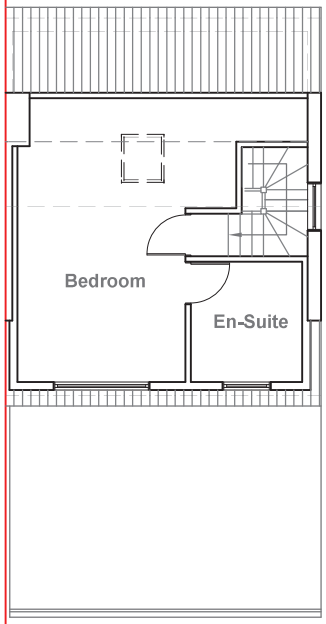
Faluck Patel



Existing Ground Floor Plan
Scale 1:100

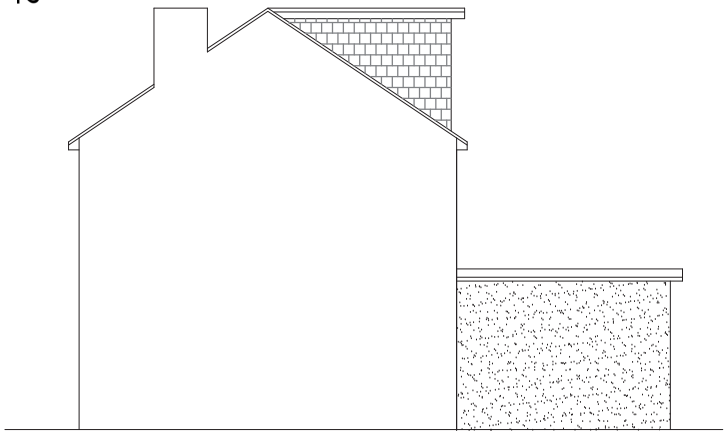


Existing Ground Floor Plan
Scale 1:100



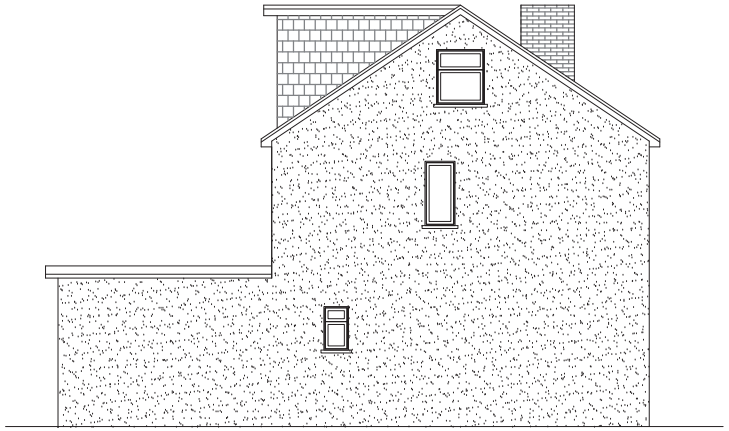
Existing Ground Floor Plan
Scale 1:100

Existing Front Elevation
Scale 1:100



Existing Side Elevation
Scale 1:100

Existing Rear Elevation
Scale 1:100



Existing Side Elevation
Scale 1:100

GENERAL NOTES:
1. ALL DIMENTIONS ARE IN MILLIMETER.
2. VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BUILDING OR STARTING CONSTRUCTION. NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCY OR VARIATION.
3. ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE

Title:

Existing Floor Plans & Elevations

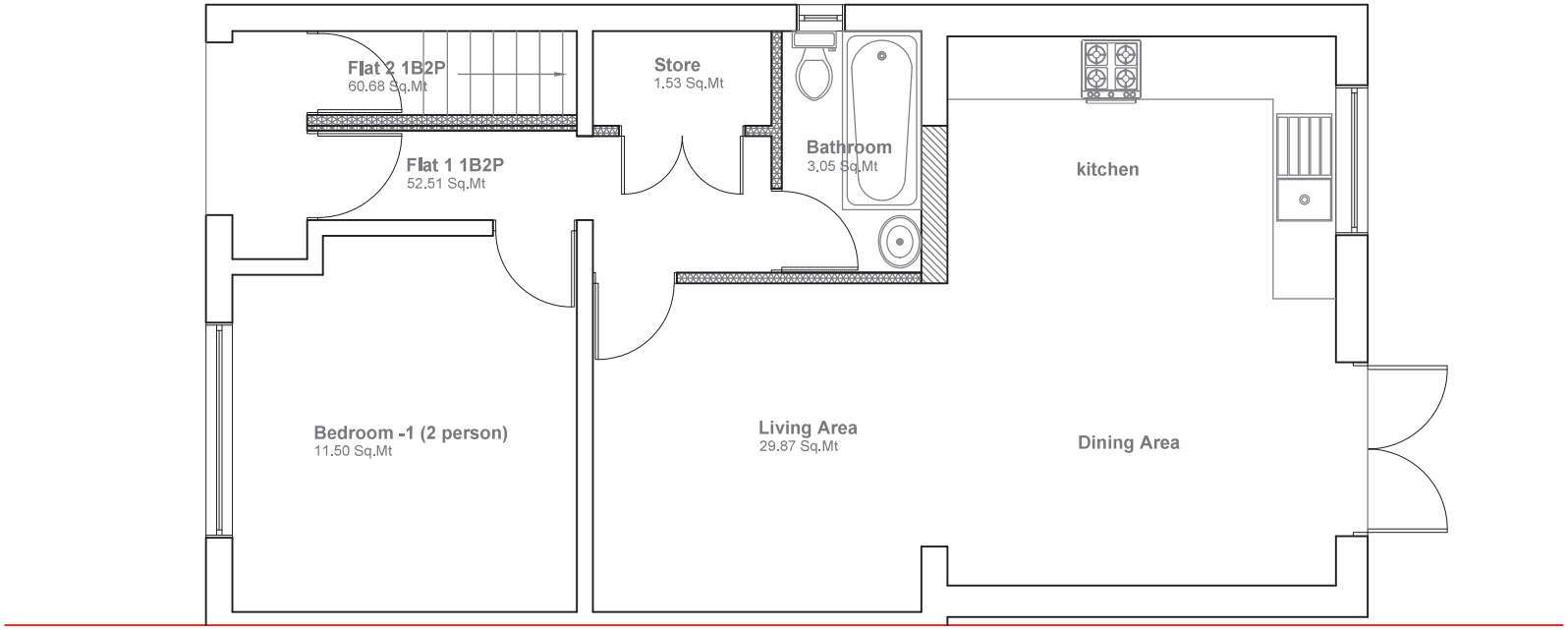
Site Address
336 Balmoral Drive
Hayes
Middlesex
UB4 8DL

Scale: 1:100 @A3
Date: 09/10/2020
Drawing No.: 2020/94 -01
Drawn By: FP

Revision Date:

e:mail - faluckpatel@yahoo.com
(M) +44 (0) 7871 466 254

Faluck Patel



Proposed Ground Floor Plan

Scale 1:50

Flat 1 - 52.51 m² (1 Bedroom/2Person - GIA requirement 50m²)

Flat 2 - 60.68 m² (1 Bedroom/2Person - GIA requirement 58m²)

1:50 0 1 2 5 Meter

GENERAL NOTES:
1. ALL DIMENTIONS ARE IN MILLIMETER.
2. VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BUILDING OR STARTING CONSTRUCTION. NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCY OR VARIATION.
3. ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE

Title:

Proposed Ground Floor Plan

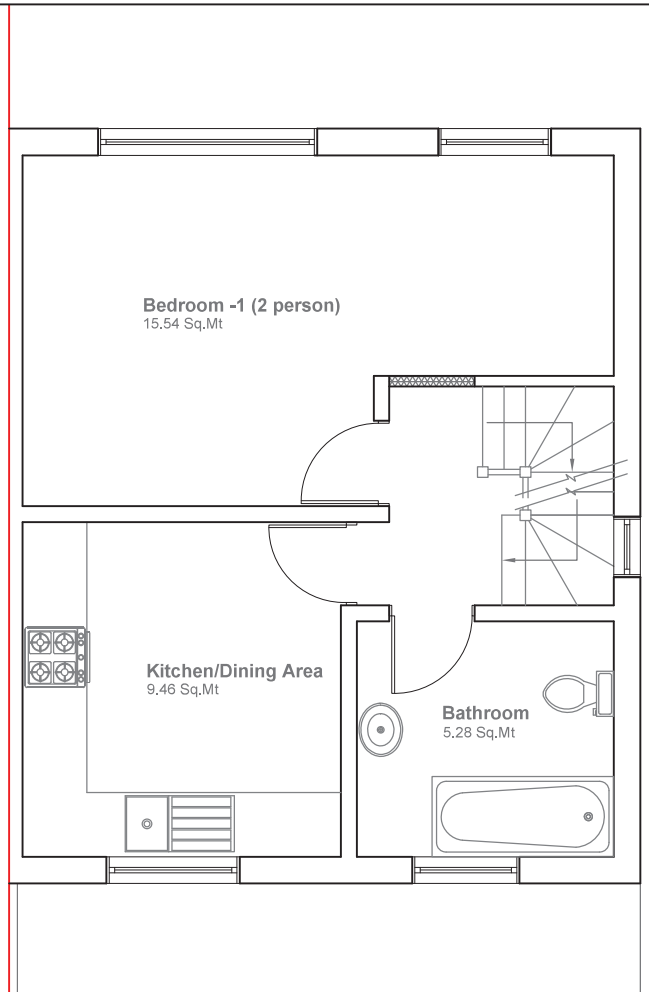
Site Address
336 Balmoral Drive
Hayes
Middlesex
UB4 8DL

Scale: 1:50 @A3
Date: 09/10/2020
Drawing No.: 2020/94 -02
Drawn By: FP

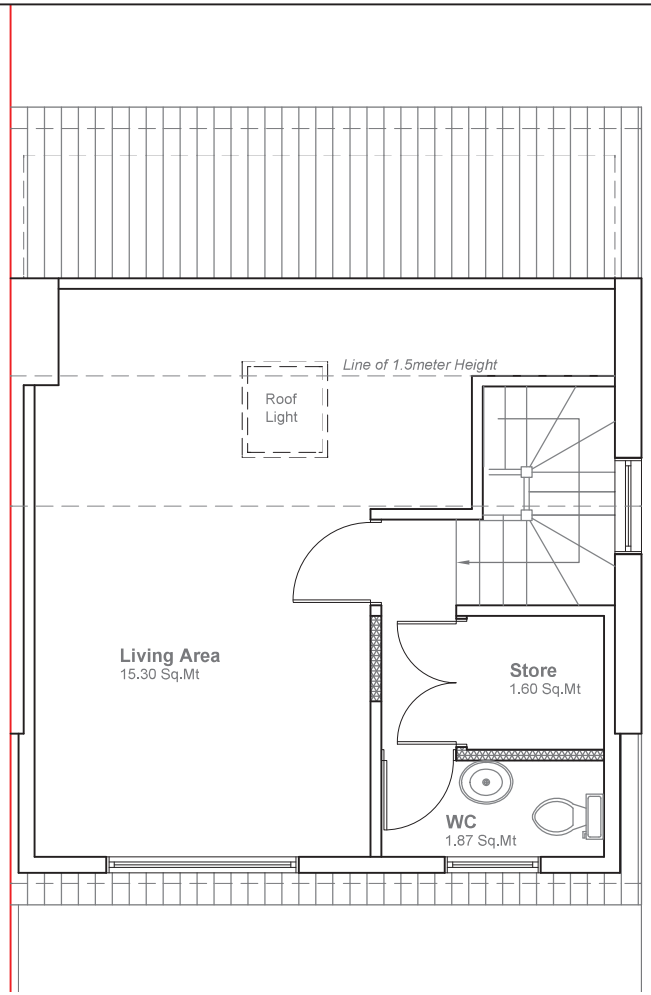
Revision Date:

e:mail - faluckpatel@yahoo.com
(M) +44 (0) 7871 466 254

Faluck Patel



Proposed First Floor Plan
Scale 1:50



Proposed Loft Plan
Scale 1:50

* Please note that Flat-2 Area - 60.68 sq.mt is excuding the area fall under 1.5meter Height on Loft Floor

Flat 1 - 52.51 m² (1 Bedroom/2Person - GIA requirement 50m²)

Flat 2 - 60.68 m² (1 Bedroom/2Person - GIA requirement 58m²)

1:50 0 1 2 5 Meter

GENERAL NOTES:
1. ALL DIMENTIONS ARE IN MILLIMETER.
2. VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BUILDING OR STARTING CONSTRUCTION. NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCY OR VARIATION.
3. ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE

Title:

Proposed First Floor & Loft Plans

Site Address
336 Balmoral Drive
Hayes
Middlesex
UB4 8DL

Scale: 1:50 @A3
Date: 09/10/2020
Drawing No.: 2020/94 -03
Drawn By: FP

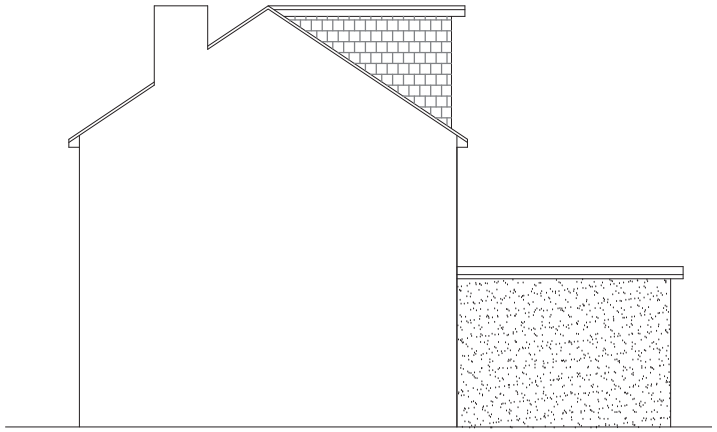
Revision Date:

e:mail - faluckpatel@yahoo.com
(M) +44 (0) 7871 466 254

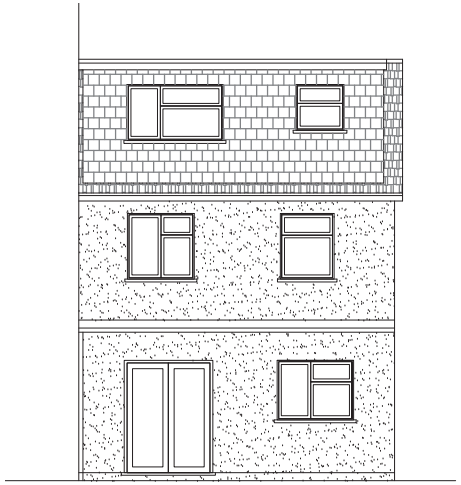
Faluck Patel

Proposed External Finish
Materials to Match Existing
External Finish Materials

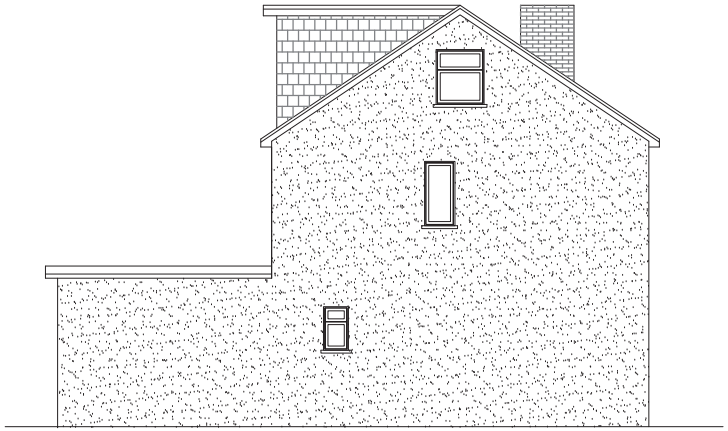
Proposed Front Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



Proposed Rear Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100

GENERAL NOTES:
1. ALL DIMENTIONS ARE IN MILLIMETER.
2. VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BUILDING OR STARTING CONSTRUCTION. NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCY OR VARIATION.
3. ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE

Title:

Proposed Elevations

Site Address
336 Balmoral Drive
Hayes
Middlesex
UB4 8DL

Scale: 1:100 @A3
Date: 09/10/2020
Drawing No.: 2020/94 -03
Drawn By: FP

Revision Date:

e:mail - faluckpatel@yahoo.com
(M) +44 (0) 7871 466 254

Faluck Patel

Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

336 Balmoral Drive
Hayes

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
71770/APP/2020/3572

Scale:
1:1,250

Planning Committee:
Central & South

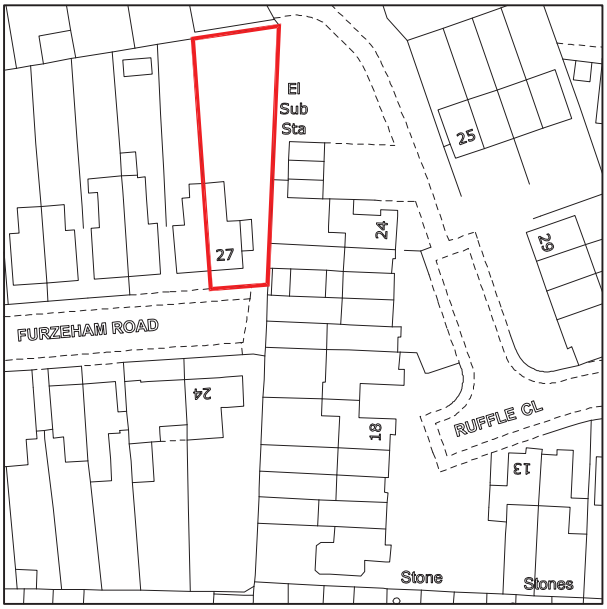
Date:
January 2021

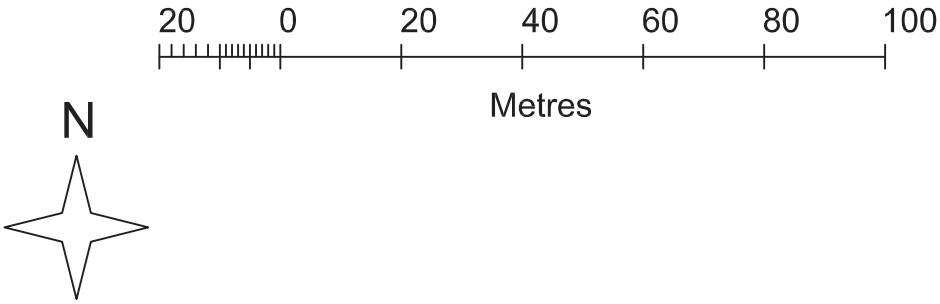
HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

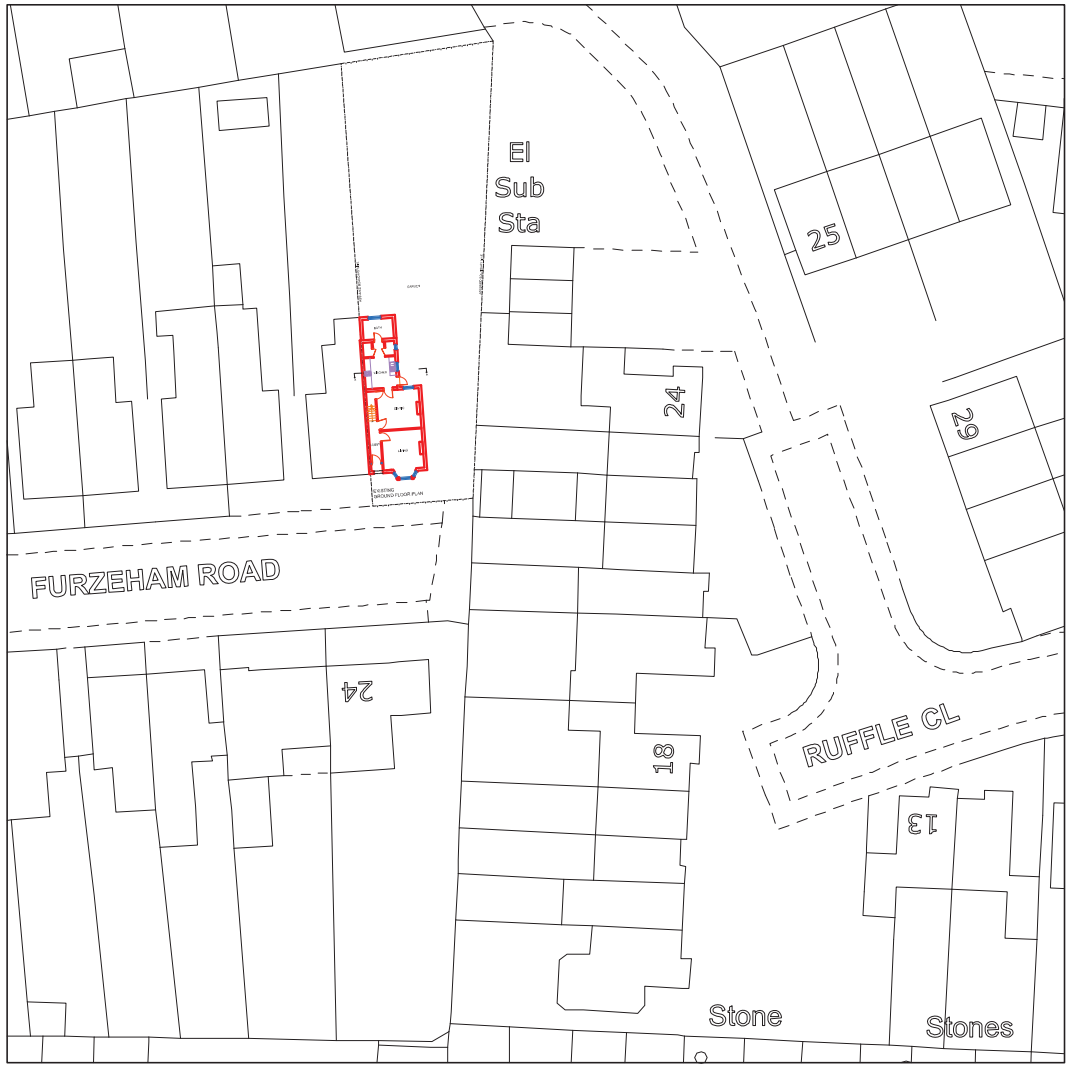
Address	LAND ADJ. TO 27 FURZEHAM ROAD WEST DRAYTON
Development:	Two storey attached dwelling with associated parking and amenity space
LBH Ref Nos:	75891/APP/2020/2961

Date Plans Received:	17/09/2020	**Date(s) of Amendment(s):**	
Date Application Valid:	17/09/2020		





	ADDRESS: NEW BUILT ON LAND ADJACENT 27 FURZEHAM ROAD WEST DRAYTON UB7 9DD	Page 178	SCALE: 1:1250@A4	NORTH	



N

20 0 20 40 60 80 100

Metres

Page 179

PARTY WALL NOTICES:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

NOTE:

DIMENSIONS:
ALL DIMENSIONS TO BE CHECKED ON SITE.
CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS,MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.
THE DRAWING DOES NO INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY.THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY.NO CHECK DIMENSIONS HAVE BEEN TAKEN,ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. ANY DEVELOPMENT WITH OUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

LEGEND

SD = SMOKE DETECTOR WITH SOUNDER
= EMERGENCY LIGHTING TO BS5266: Part 1 1988
HD = HEAT DETECTOR
FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
A	260820	IK		FIRST ISSUE

zaavia STUDIO
15 Yoxley Drive IG2 6PZ [020 8924 1441]

PROJECT
NEW BUILT ON LAND ADJACENT
27 FURZEHAM ROAD
WEST DRAYTON UB7 9DD

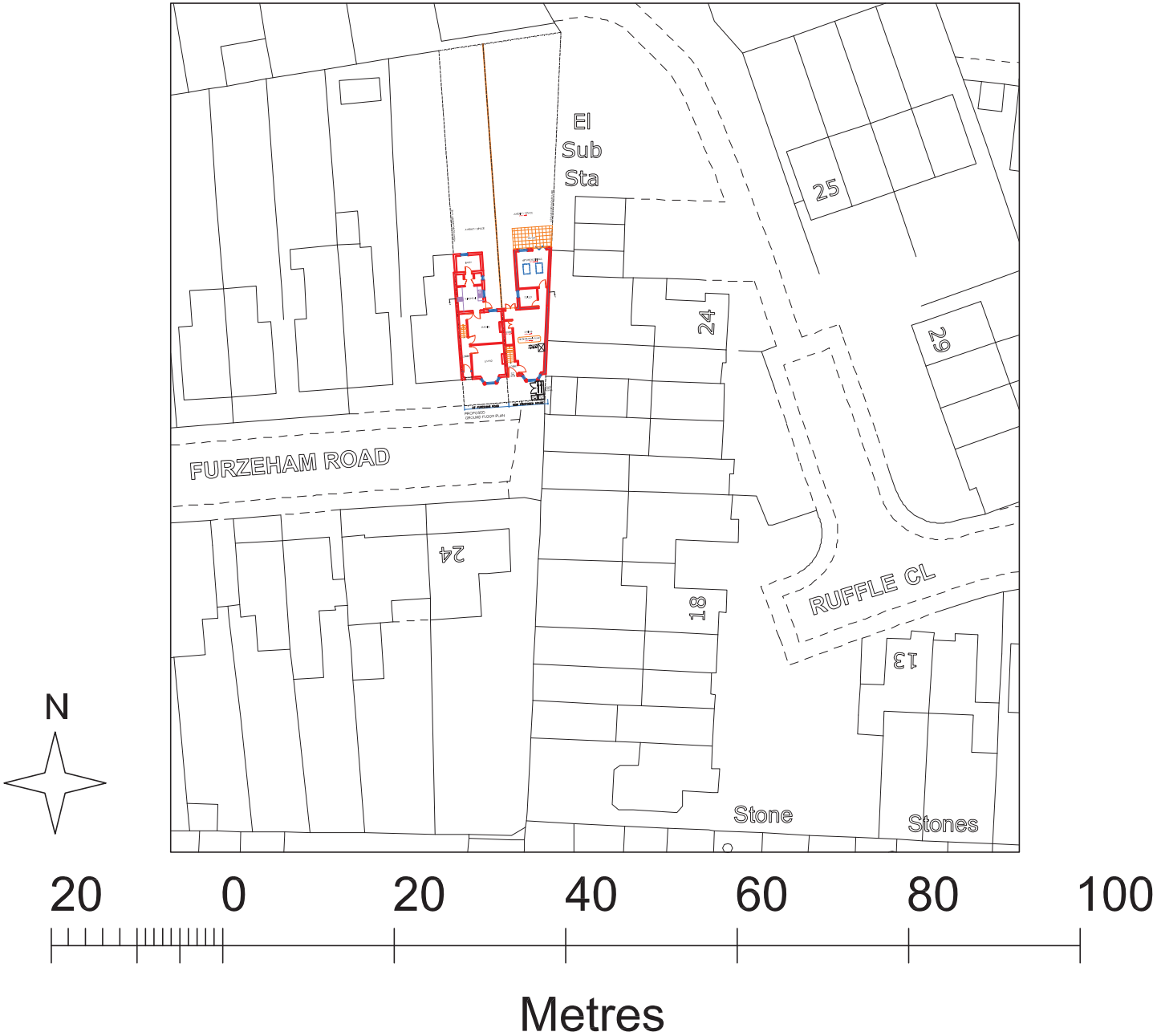
DWG TITLE
EXISTING SITE PLAN

CLIENT
MR. MUHAMMED SALIM MIAH

DWG NO: ZAAVIA/27FR/209

ISSUE A

SCALE	DATE	DRAWN BY
1:500@A3	26 AUG	IK



PARTY WALL NOTICES:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

NOTE:

DIMENSIONS:
ALL DIMENSIONS TO BE CHECKED ON SITE.
CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS,MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.
THE DRAWING DOES NO INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY.THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY.NO CHECK DIMENSIONS HAVE BEEN TAKEN,ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. ANY DEVELOPMENT WITH OUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

LEGEND

- (SD) = SMOKE DETECTOR WITH SOUNDER
- = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- (HD) = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
A	260820	IK		FIRST ISSUE

zaavia STUDIO
15 Yoxley Drive IG2 6PZ [020 8924 1441]

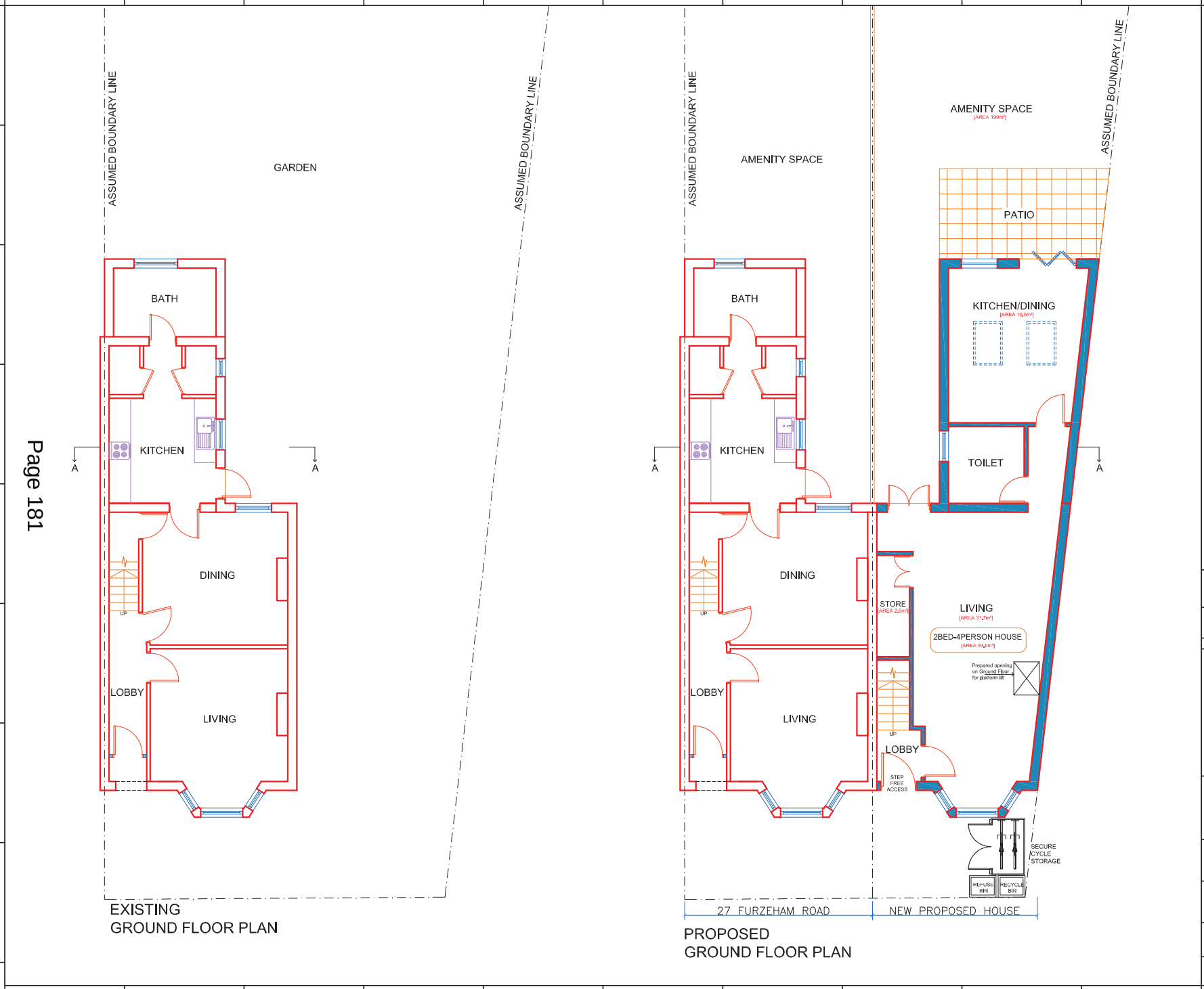
PROJECT
NEW BUILT ON LAND ADJACENT
27 FURZEHAM ROAD
WEST DRAYTON UB7 9DD

DWG TITLE
PROPOSED SITE PLAN

CLIENT
MR. MUHAMMED SALIM MIAH

DWG NO:	ISSUE
ZAAVIA/27FR/210	A

SCALE	DATE	DRAWN BY
1:500@A3	26 AUG	IK



PARTY WALL NOTICES:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

NOTE:

DIMENSIONS:
ALL DIMENSIONS TO BE CHECKED ON SITE. CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS,MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.
THE DRAWING DOES NO INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY.THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY,NO CHECK DIMENSIONS HAVE BEEN TAKEN,ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. ANY DEVELOPMENT WITH OUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

LEGEND

- (STD) = SMOKE DETECTOR WITH SOUNDER
- = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- (HD) = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME

0 1 2 3 4 5
Metres

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
A	260820	IK		FIRST ISSUE

zaavia STUDIO
15 Yoxley Drive IG2 6PZ [020 8924 1441]

PROJECT
NEW BUILT ON LAND ADJACENT
27 FURZEHAM ROAD
WEST DRAYTON UB7 9DD

DWG TITLE
EXISTING & PROPOSED PLANS

CLIENT
MR. MUHAMMED SALIM MIAH

DWG NO:	ISSUE
ZAAVIA/27FR/201	A

SCALE	DATE	DRAWN BY
1:100@A3	26 AUG	IK

EXISTING
FIRST FLOOR PLAN

PROPOSED
FIRST FLOOR PLAN

PARTY WALL NOTICES:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

NOTE:

DIMENSIONS:
ALL DIMENSIONS TO BE CHECKED ON SITE.
CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS,MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.
THE DRAWING DOES NO INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY.THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY.NO CHECK DIMENSIONS HAVE BEEN TAKEN,ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. ANY DEVELOPMENT WITH OUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

LEGEND

- (SD) = SMOKE DETECTOR WITH SOUNDER
- = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- (HD) = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME

0 1 2 3 4 5
Metres

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
A	260820	IK		FIRST ISSUE

zavia STUDIO
15 Yoxley Drive IG2 6PZ [020 8924 1441]

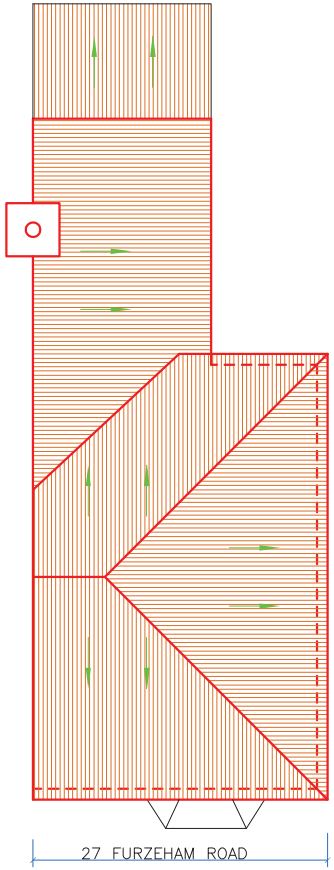
PROJECT
NEW BUILT ON LAND ADJACENT
27 FURZEHAM ROAD
WEST DRAYTON UB7 9DD

DWG TITLE
EXISTING & PROPOSED PLANS

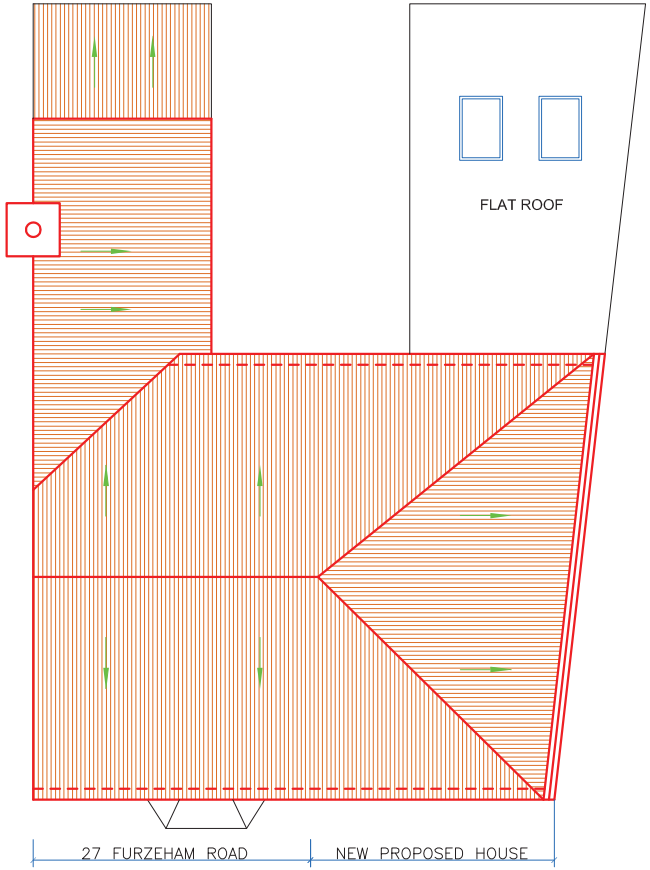
CLIENT
MR. MUHAMMED SALIM MIAH

DWG NO:	ISSUE
ZAAVIA/27FR/202	A

SCALE	DATE	DRAWN BY
1:100@A3	26 AUG	IK



EXISTING ROOF PLAN



PROPOSED ROOF PLAN

PARTY WALL NOTICES:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

NOTE:

DIMENSIONS:
ALL DIMENSIONS TO BE CHECKED ON SITE.
CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS,MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.
THE DRAWING DOES NO INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY.THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY.NO CHECK DIMENSIONS HAVE BEEN TAKEN,ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. ANY DEVELOPMENT WITH OUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

LEGEND

- (SD) = SMOKE DETECTOR WITH SOUNDER
- (O) = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- (HD) = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME

0 1 2 3 4 5
Metres

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
A	260820	IK		FIRST ISSUE

STUDIO
15 Yoxley Drive IG2 6PZ [020 8924 1441]

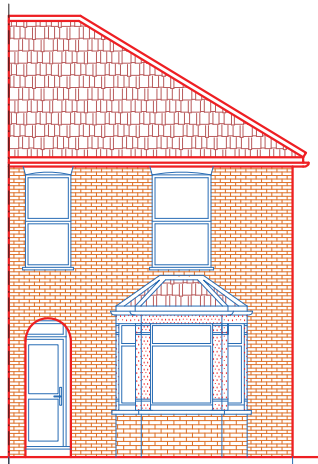
PROJECT
NEW BUILT ON LAND ADJACENT
27 FURZEHAM ROAD
WEST DRAYTON UB7 9DD

DWG TITLE
ROOF PLANS

CLIENT
MR. MUHAMMED SALIM MIAH

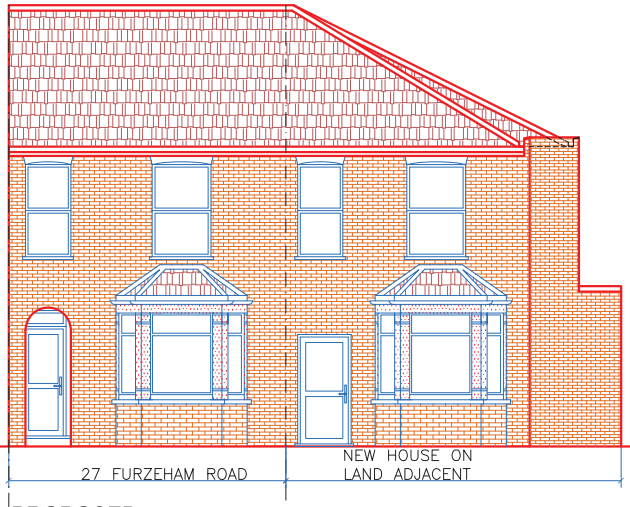
DWG NO:	ISSUE
ZAAVIA/27FR/208	A

SCALE	DATE	DRAWN BY
1:100@A3	26 AUG	IK

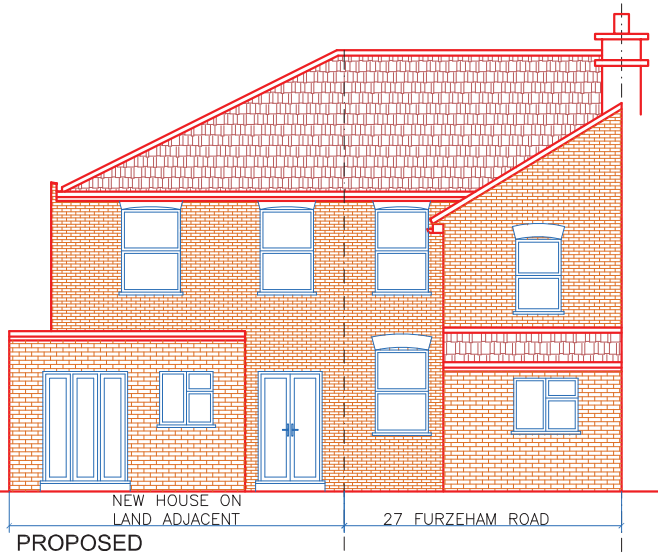


EXISTING
FRONT ELEVATION

EXISTING
REAR ELEVATION



PROPOSED
FRONT ELEVATION



PROPOSED
REAR ELEVATION

PARTY WALL NOTICES:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

NOTE:

DIMENSIONS:
ALL DIMENSIONS TO BE CHECKED ON SITE.
CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS,MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.
THE DRAWING DOES NO INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY.THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY,NO CHECK DIMENSIONS HAVE BEEN TAKEN,ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. ANY DEVELOPMENT WITH OUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

LEGEND

- (SD) = SMOKE DETECTOR WITH SOUNDER
- = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- (HD) = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME

0 1 2 3 4 5
Metres

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
A	260820	IK		FIRST ISSUE

zavia STUDIO
15 Yoxley Drive IG2 6PZ [020 8924 1441]

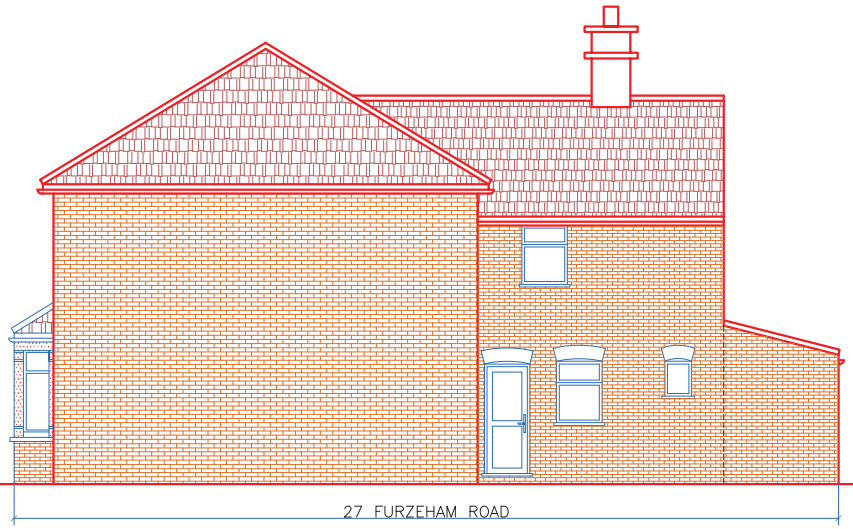
PROJECT
NEW BUILT ON LAND ADJACENT
27 FURZEHAM ROAD
WEST DRAYTON UB7 9DD

DWG TITLE
EXISTING & PROPOSED ELEVATIONS

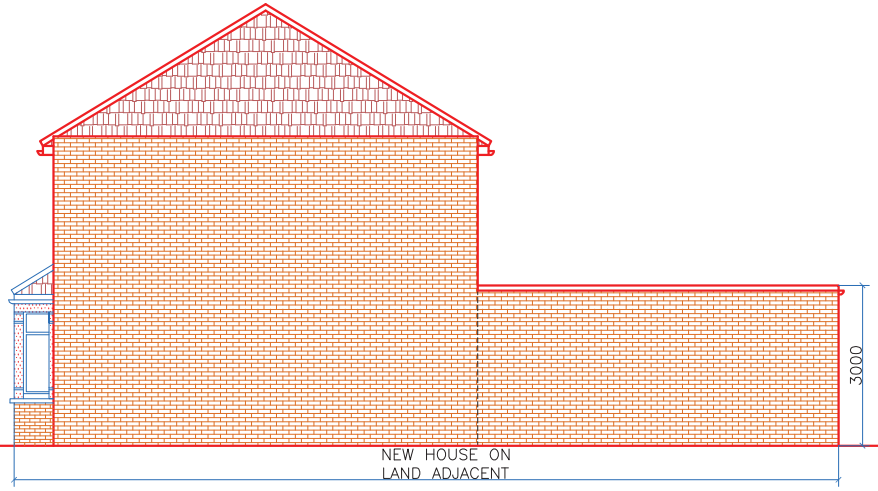
CLIENT
MR. MUHAMMED SALIM MIAH

DWG NO:	ISSUE
ZAAVIA/27FR/203	A

SCALE	DATE	DRAWN BY
1:100@A3	26 AUG	IK



EXISTING
SIDE ELEVATION-1



PROPOSED
SIDE ELEVATION-1

PARTY WALL NOTICES:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

NOTE:

DIMENSIONS:
ALL DIMENSIONS TO BE CHECKED ON SITE.
CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS,MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.
THE DRAWING DOES NO INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY.THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY.NO CHECK DIMENSIONS HAVE BEEN TAKEN,ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. ANY DEVELOPMENT WITH OUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

LEGEND

- (SD) = SMOKE DETECTOR WITH SOUNDER
- = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- (HD) = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME

0 1 2 3 4 5
Metres

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
A	260820	IK		FIRST ISSUE

zaavia STUDIO
15 Yoxley Drive IG2 6PZ [020 8924 1441]

PROJECT
NEW BUILT ON LAND ADJACENT
27 FURZEHAM ROAD
WEST DRAYTON UB7 9DD

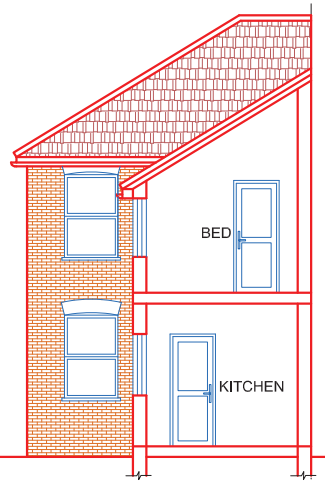
DWG TITLE
EXISTING & PROPOSED ELEVATIONS

CLIENT
MR. MUHAMMED SALIM MIAH

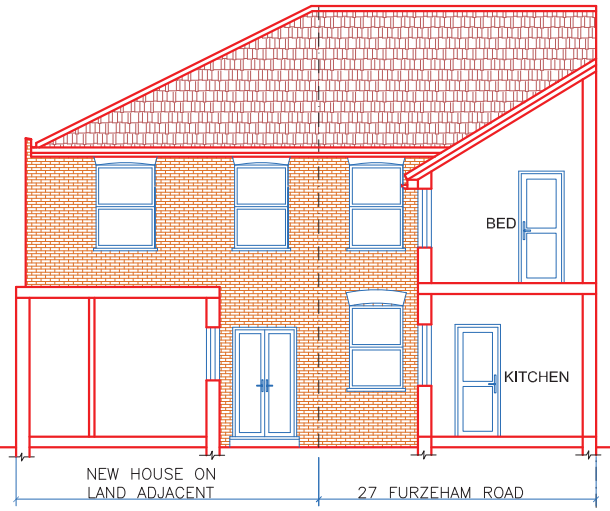
DWG NO: ZAAVIA/27FR/204

ISSUE A

SCALE	DATE	DRAWN BY
1:100@A3	26 AUG	IK



EXISTING
SECTION AA



PROPOSED
SECTION AA

Page 186

PARTY WALL NOTICES:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

NOTE:

DIMENSIONS:
ALL DIMENSIONS TO BE CHECKED ON SITE.
CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS,MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.
THE DRAWING DOES NO INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY.THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY.NO CHECK DIMENSIONS HAVE BEEN TAKEN,ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. ANY DEVELOPMENT WITH OUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

LEGEND

- SD = SMOKE DETECTOR WITH SOUNDER
- = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- HD = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME

0 1 2 3 4 5
Metres

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
A	260820	IK		FIRST ISSUE

zavia STUDIO
15 Yoxley Drive IG2 6PZ [020 8924 1441]

PROJECT
NEW BUILT ON LAND ADJACENT
27 FURZEHAM ROAD
WEST DRAYTON UB7 9DD

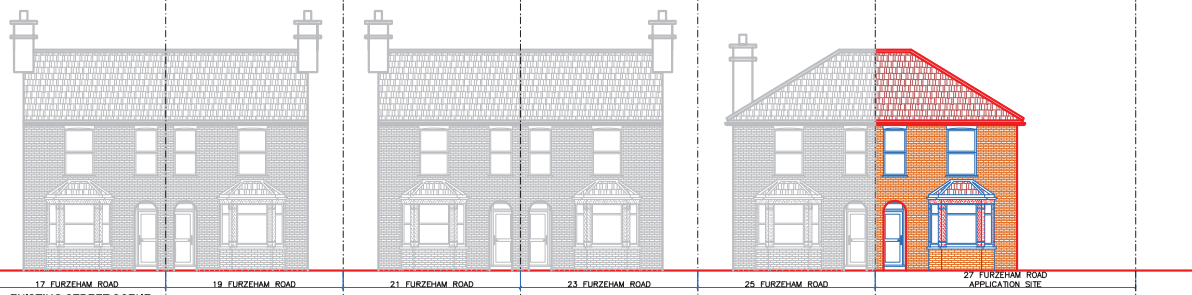
DWG TITLE
SECTIONS

CLIENT
MR. MUHAMMED SALIM MIAH

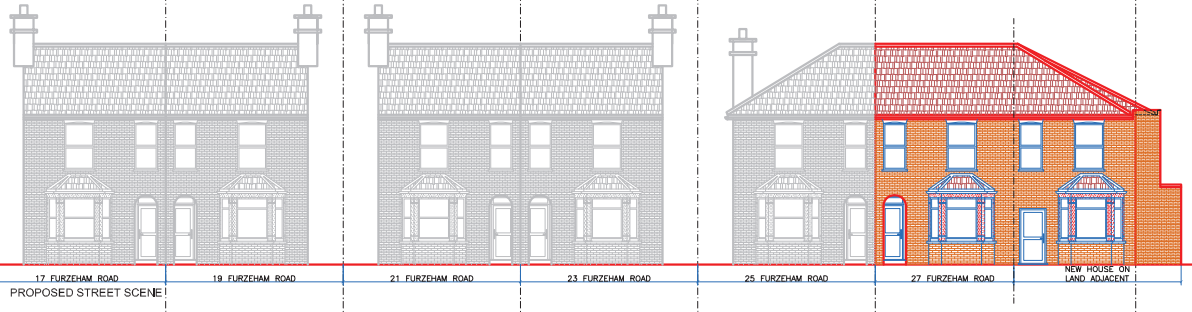
DWG NO: ZAAVIA/27FR/207

ISSUE: A

SCALE	DATE	DRAWN BY
1:100@A3	26 AUG	IK



EXISTING STREET SCENE



PROPOSED STREET SCENE

PARTY WALL NOTICES:

PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

NOTE:

DIMENSIONS:
ALL DIMENSIONS TO BE CHECKED ON SITE.
CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

THIS DRAWING IS COPYRIGHT AND MUST NOT BE TRACED OR COPIED IN ANY WAY OR FORM IN PART OR WHOLE BY ANY MEANS WHATSOEVER WITHOUT PRIOR WRITTEN CONSENT AND MAY ONLY BE USED BY THE PRESENT OWNER IN RELATION TO THE PROPERTY AS REFERRED TO ON THE DRAWING. THIS DRAWING MAY BE COPIED BY AN AUTHORISED OFFICER OF THE LOCAL AUTHORITY WITH THE SOLE PURPOSE TO ASSIST IN THE DETERMINATION OF A PLANNING OR BUILDING REGULATIONS APPLICATION AND MAY NOT BE USED FOR ANY OTHER PURPOSE UNLESS OTHERWISE AGREED IN WRITING.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS,MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.
THE DRAWING DOES NO INDICATE THE EXTENT OF ANY EXCAVATION WORKS AND THE CONTRACTOR IS TO DETERMINE THIS PRIOR TO SUBMITTING A QUOTATION FOR THE WORKS OR COMMENCING ANY WORKS.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY.THE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN THE PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY.NO CHECK DIMENSIONS HAVE BEEN TAKEN,ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHT IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF PROPERTY AS A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. ANY DEVELOPMENT WITH OUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

LEGEND

- SD = SMOKE DETECTOR WITH SOUNDER
- = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- HD = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME

0 1 2 3 4 5
Metres

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
A	260820	IK		FIRST ISSUE

zaavia STUDIO
15 Yoxley Drive IG2 6PZ [020 8924 1441]

PROJECT
NEW BUILT ON LAND ADJACENT
27 FURZEHAM ROAD
WEST DRAYTON UB7 9DD

DWG TITLE
STREET VIEW

CLIENT
MR. MUHAMMED SALIM MIAH

DWG NO: ZAAVIA/27FR/206

ISSUE: A

SCALE	DATE	DRAWN BY
1:200@A3	26 AUG	IK

Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

Land Adjacent to 27 Furzeham Road

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
75891/APP/2020/2961

Scale:
1:1,250

Planning Committee:
Central & South

Date:
January 2021

HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address	CEDAR HOUSE VINE LANE HILLINGDON
Development:	Change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel).
LBH Ref Nos:	12019/APP/2020/3615
Drawing Nos:	

Ordnance Survey, (c) Crown Copyright 2020. All rights reserved. Licence number 100022432

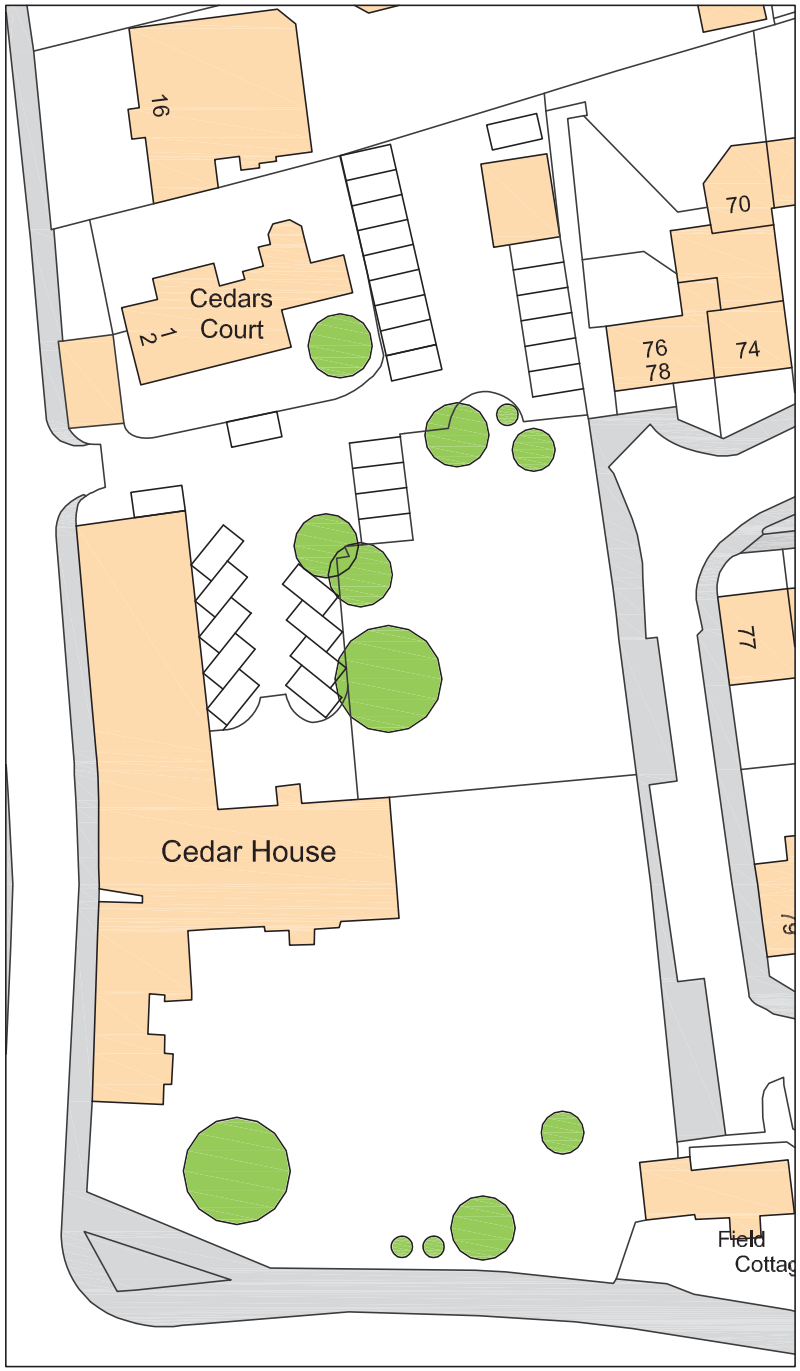
Site within red boundary:
Cedar House, Vine Lane, Hillingdon,
Middlesex, UB10 0NF

GGC DESIGN LTD
CHARTERED ARCHITECT
Tel: 01895 251323
Mob: 07976 732636
g.g.calton11@btinternet.com

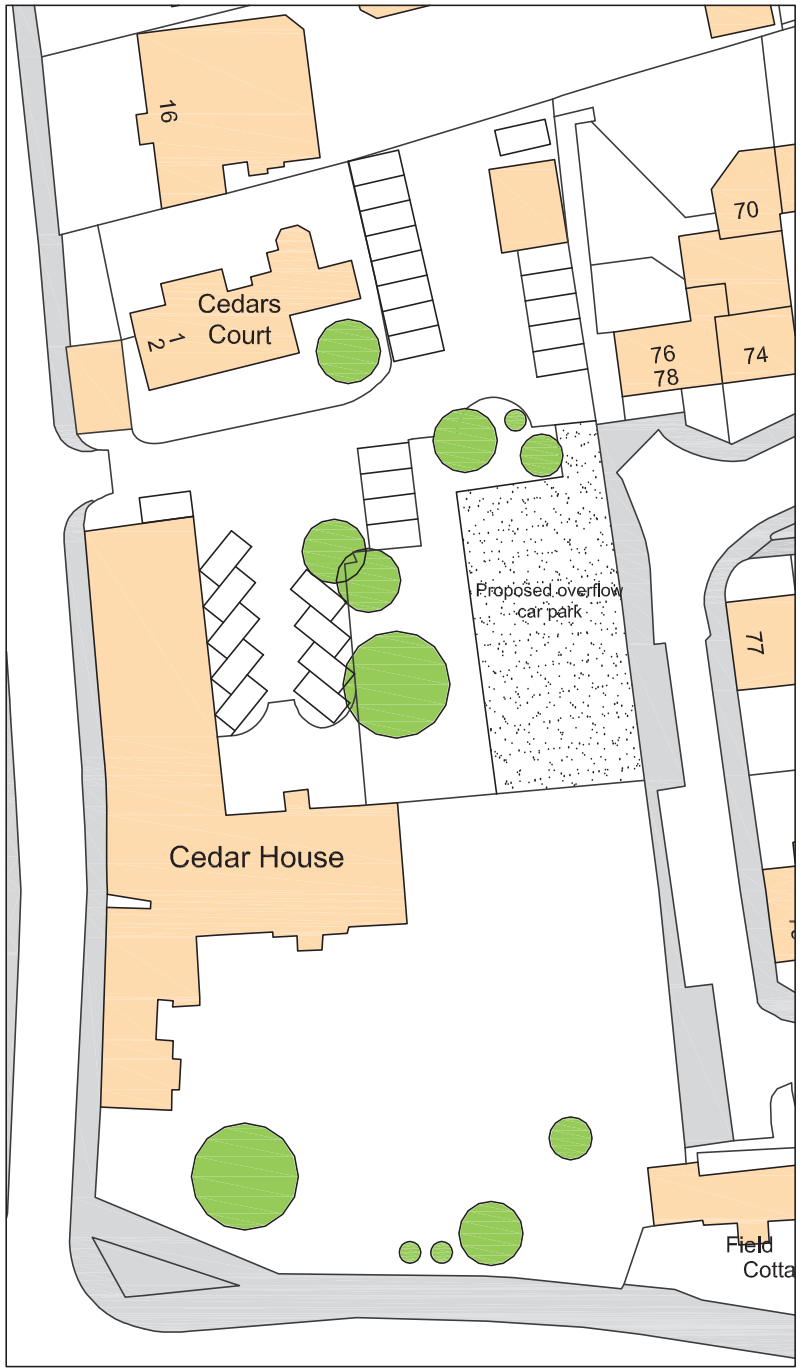
NOTES: - DO NOT SCALE FROM THIS DRAWING. The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

Rev	Revision notes	Initials	Date
-	-	-	-

Project	Scale	Drawn by
CEDAR HOUSE, VINE LANE, HILLINGDON, MIDDLESEX, UB10 0NF	1:1250 @ A4	GC
	Date 26/10/20	Checked by GC
Description: SITE LOCATION PLAN	Drawing No. CH / P1 / 01	Rev.



EXISTING SITE PLAN



PROPOSED SITE PLAN

NOTES

The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

DO NOT SCALE FROM THIS DRAWING

Rev	Revision notes	Initials	Date
-	-	-	-

GGC DESIGN LTD
CHARTERED ARCHITECT
Tel: 01895 251323
Mob: 07976 732636
g.g.carlton11@btinternet.com

PROJECT
CEDAR HOUSE, VINE LANE,
HILLINGDON UB10 0NF
NEW OVERFLOW CAR PARK

DESCRIPTION
EXISTING & PROPOSED SITE PLANS

SCALE	DRAWN BY	CHECKED BY	DATE
1:500 @ A3	GC	GC	26/10/20

DRAWING No. CH / P1 / 02

REV.

PROPOSED SITE PLAN (with overflow car park layout)

NOTES

The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

DO NOT SCALE FROM THIS DRAWING

Rev	Revision notes	Initials	Date
-	-	-	-

GGC DESIGN LTD
CHARTERED ARCHITECT
Tel: 01895 251323
Mob: 07976 732636
g.g.calton11@btinternet.com

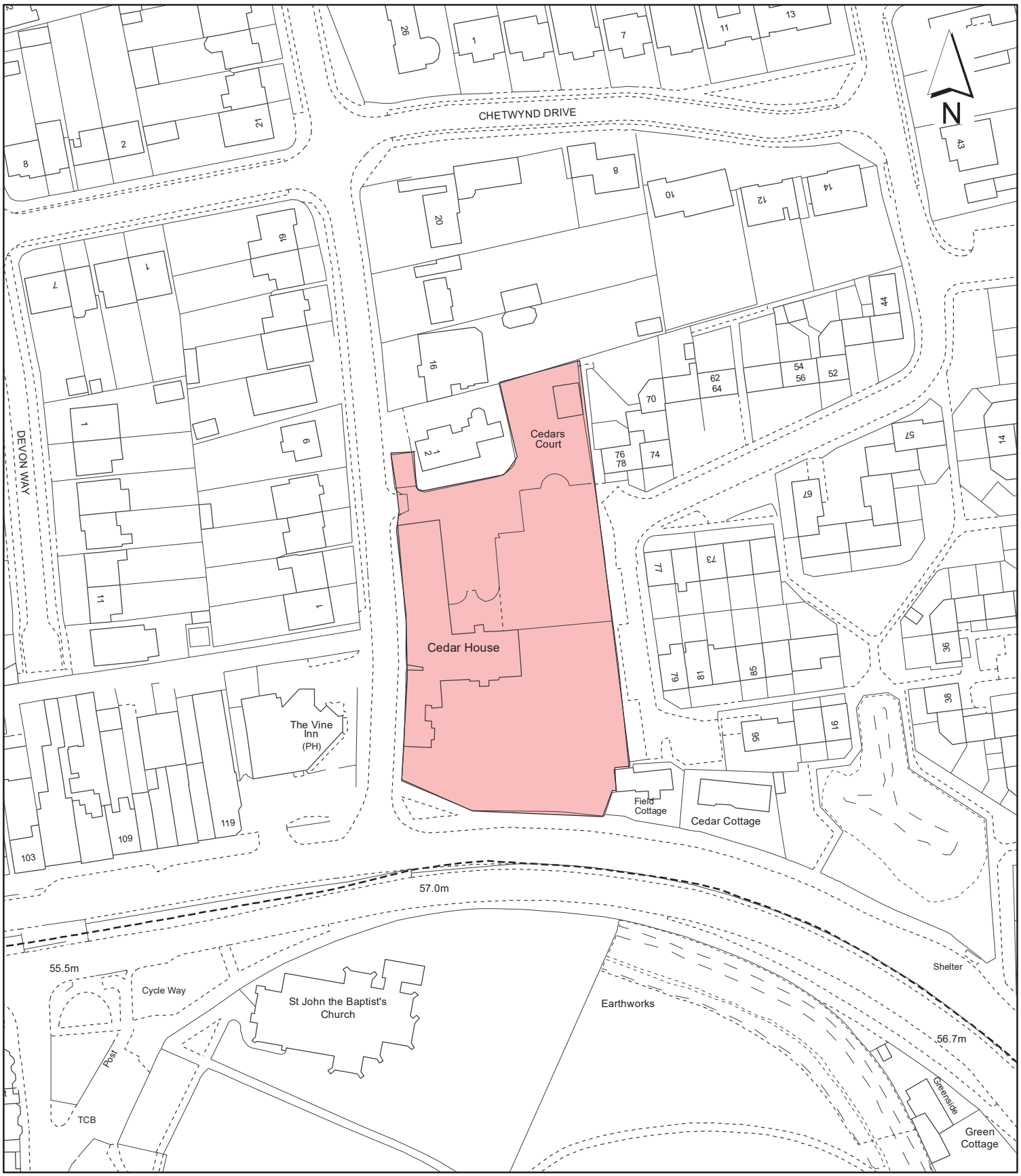
PROJECT
CEDAR HOUSE, VINE LANE,
HILLINGDON UB10 0NF
NEW OVERFLOW CAR PARK

DESCRIPTION
PROPOSED SITE PLAN - PARKING LAYOUT

SCALE	DRAWN BY	CHECKED BY	DATE
1:500 @ A3	GC	GC	26/10/20

DRAWING No. CH / P1 / 03

REV.



Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

Cedar House
Vine Lane

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref: **12019/APP/2020/3615**

Scale: **1:1,250**

Planning Committee: **Central & South**

Date: **January 2021**

Report of the Head of Planning, Transportation and Regeneration

Address	CEDAR HOUSE VINE LANE HILLINGDON
Development:	Change of grassed area into an overflow car park with a temporary surface (plastic interlocking grid laid on fleece and filled with gravel) (Listed Building Consent)
LBH Ref Nos:	12019/APP/2020/3616
Drawing Nos:	

Ordnance Survey, (c) Crown Copyright 2020. All rights reserved. Licence number 100022432

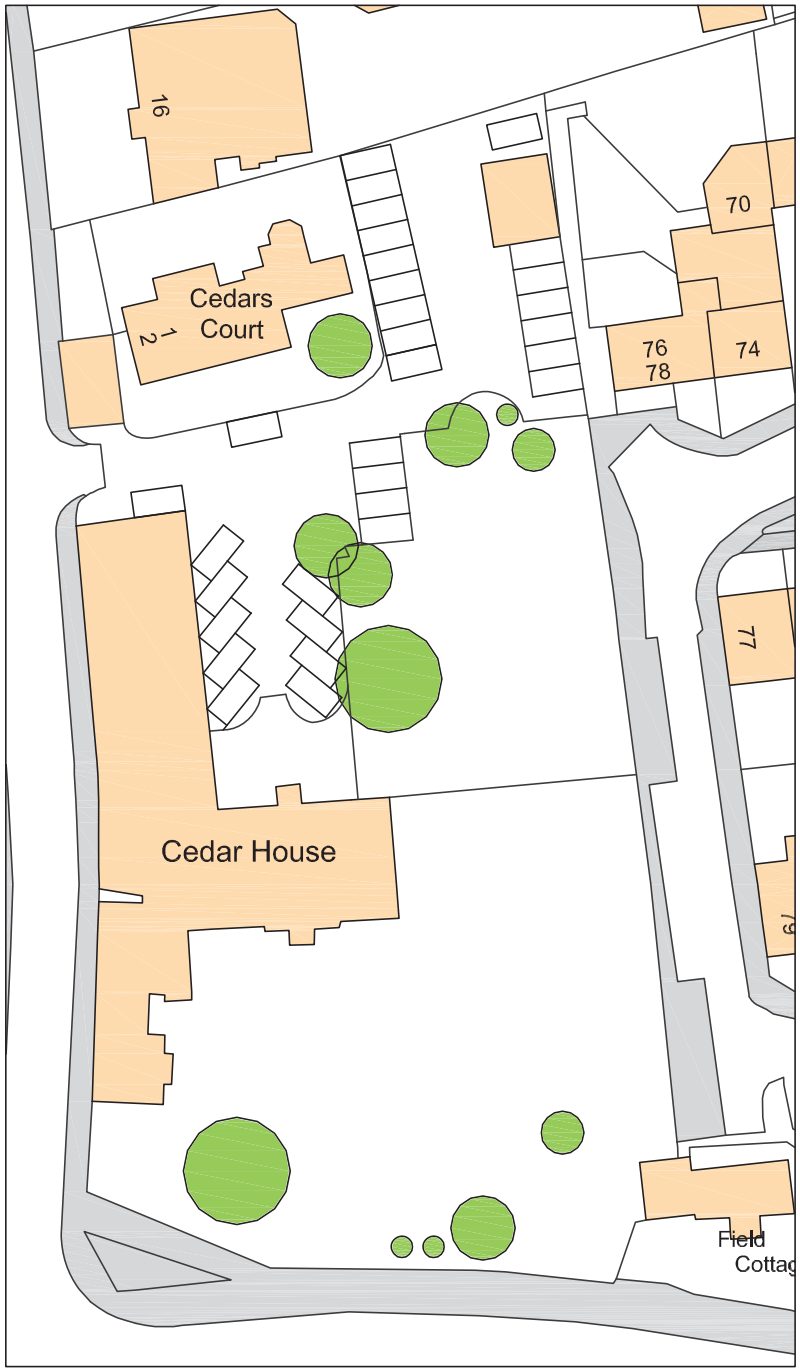
Site within red boundary:
Cedar House, Vine Lane, Hillingdon,
Middlesex, UB10 0NF

GGC DESIGN LTD
CHARTERED ARCHITECT
Tel: 01895 251323
Mob: 07976 732636
g.g.calton11@btinternet.com

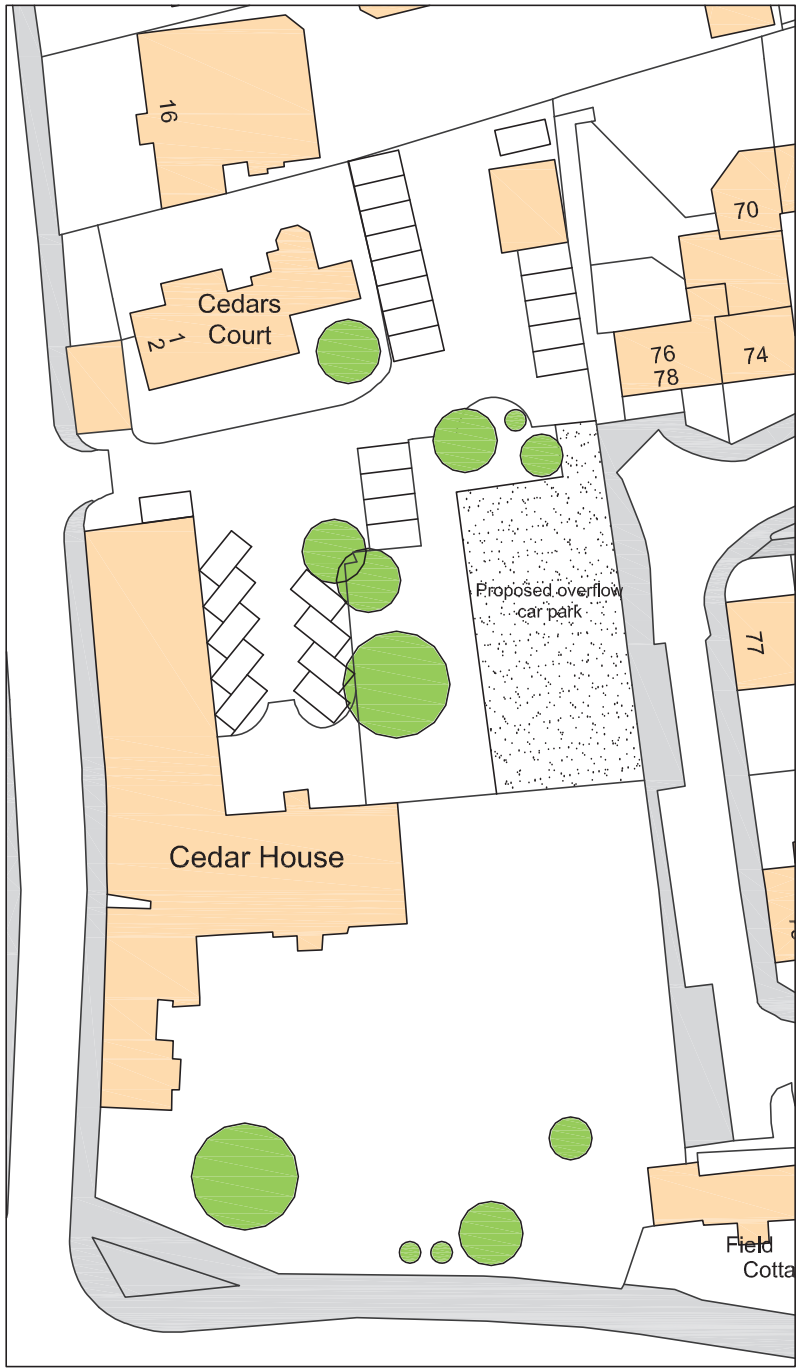
NOTES: - DO NOT SCALE FROM THIS DRAWING. The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

Rev	Revision notes	Initials	Date
-	-	-	-

Project CEDAR HOUSE, VINE LANE, HILLINGDON, MIDDLESEX, UB10 0NF	Scale 1:1250 @ A4	Drawn by GC	
Description SITE LOCATION PLAN	Date 26/10/20	Checked by GC	
	Drawing No. CH / P1 / 01		Rev.



EXISTING SITE PLAN



PROPOSED SITE PLAN

NOTES

The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

DO NOT SCALE FROM THIS DRAWING

Rev	Revision notes	Initials	Date
-	-	-	-

GGC DESIGN LTD
CHARTERED ARCHITECT
Tel: 01895 251323
Mob: 07976 732636
g.g.carlton11@btinternet.com

PROJECT
CEDAR HOUSE, VINE LANE,
HILLINGDON UB10 0NF
NEW OVERFLOW CAR PARK

DESCRIPTION
EXISTING & PROPOSED SITE PLANS

SCALE	DRAWN BY	CHECKED BY	DATE
1:500 @ A3	GC	GC	26/10/20

DRAWING No. CH / P1 / 02

REV.

PROPOSED SITE PLAN (with overflow car park layout)

NOTES

The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

DO NOT SCALE FROM THIS DRAWING

Rev	Revision notes	Initials	Date
-	-	-	-

GGC DESIGN LTD
CHARTERED ARCHITECT
Tel: 01895 251323
Mob: 07976 732636
g.g.calton11@btinternet.com

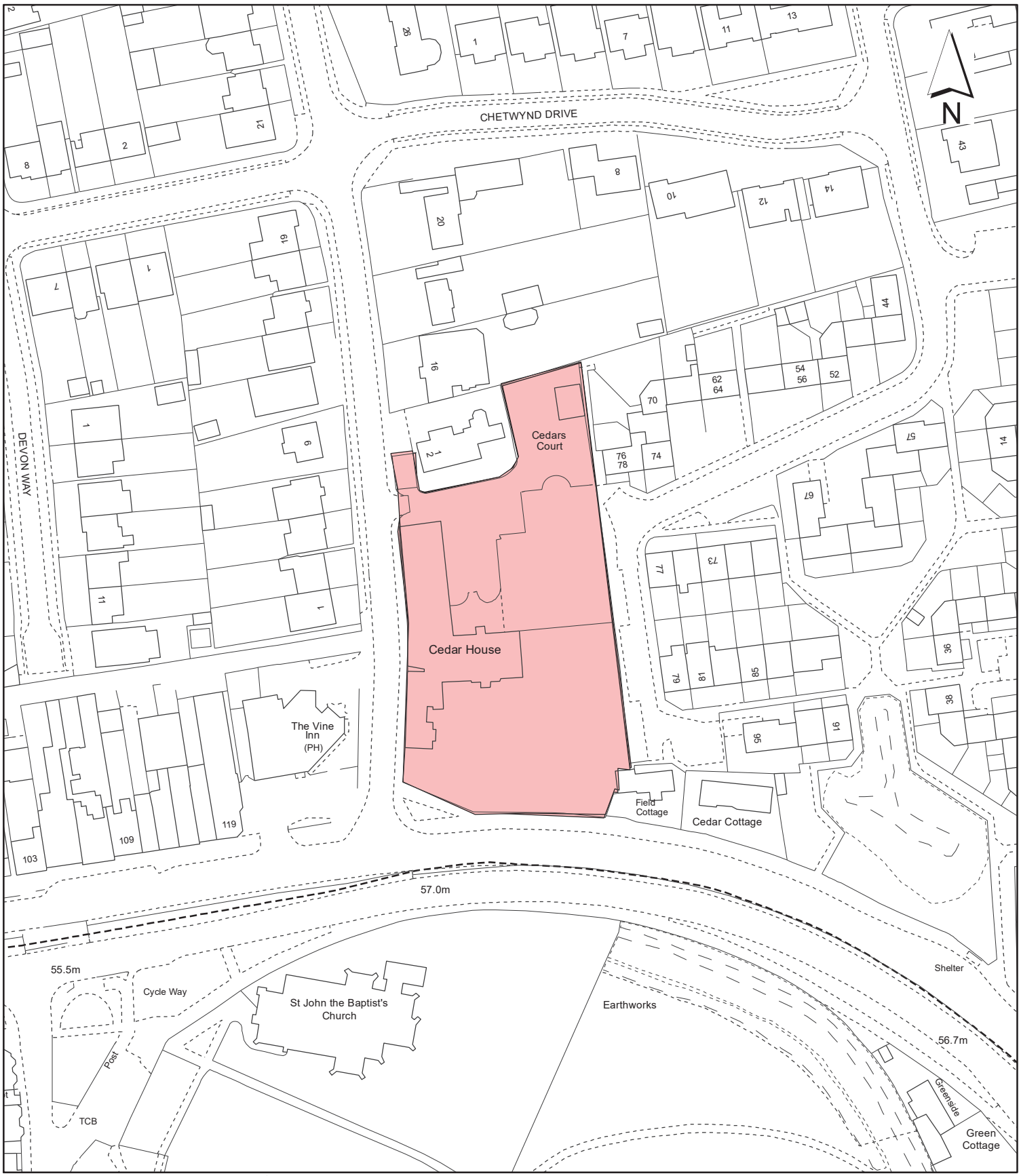
PROJECT
CEDAR HOUSE, VINE LANE,
HILLINGDON UB10 0NF
NEW OVERFLOW CAR PARK

DESCRIPTION
PROPOSED SITE PLAN - PARKING LAYOUT

SCALE	DRAWN BY	CHECKED BY	DATE
1:500 @ A3	GC	GC	26/10/20

DRAWING No. CH / P1 / 03

REV.



Notes:

Site boundary

For identification purposes only.

This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).
Unless the Act provides a relevant exception to copyright.
© Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

Cedar House
Vine Lane

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref: **12019/APP/2020/3616**

Scale: **1:1,250**

Planning Committee: **Central & South**

Date: **January 2021**

HILLINGDON
LONDON

Meeting:	**Central and South Planning Committee**	
Date:	**3rd December 2020**	**Time: 7:00pm**
Place:	**Virtual Meeting**	

ADDENDUM SHEET

Item: 7 **Page: 29**	**Location: 1 Raynton Close, Hayes**
Amendments/Additional Information:	***Officer Comments:***
This item has been withdrawn from the agenda by the Head of Planning.	

Item: 8 **Page: 33**	**Location: 336 Balmoral Drive, Hayes**
Amendments/Additional Information:	***Officer Comments:***
The following additional conditions are recommended: 1. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England)Order 2015 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the property. REASON To prevent overlooking to adjoining properties in accordance with policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020). 2. The development hereby approved shall not be used as a house in multiple occupation without a further express permission from the Local Planning Authority. REASON To ensure that the premises remain as approved until such time as the Local Planning Authority may be satisfied that use as HMO would be in accordance with Policy DMH 5 of the Hillingdon Local Plan Part 2 (2020).	

This page is intentionally left blank